

# Elements Survey Report

Relating to:

XXXXXX

Report Date: 22<sup>nd</sup> May 2023



**Photo of Front Elevation**

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| <b>1.00</b> | <b>Scope of Survey and General Information</b>                        |   |
| <b>1.01</b> | <b>Client's Name</b>  | XXXX  |
| <b>1.02</b> | <b>Client's Address</b>   | XXXX  |
| <b>1.03</b> | <b>The property discussed in this Report</b>                          | XXXX  |
| <b>1.04</b> | <b>Surveyed by</b>  | Pete Mallinson MRICS  |
| <b>1.05</b> | <b>Date of Inspection</b>   | 19 May 2023   |
| <b>1.06</b> | <b>Instructions</b>   | We are acting on written confirmed instructions dated 1 February 2023   |
| <b>1.07</b> | <b>Limitations as to the conditions at the time of our inspection</b> | <p>Only readily accessible areas were inspected and the risk of defects to concealed areas must be accepted.</p> <p>The current unit is to be split in two. As a result, the left side of the current unit has been excluded as this falls outside of the interest of the client.</p> |
| <b>1.08</b> | <b>Occupation</b>   | The unit was unoccupied during inspection.  |
| <b>1.09</b> | <b>Access was arranged through</b>                                    | Deputy Centre Manager   |
| <b>1.10</b> | <b>General Description</b>  | Mid terrace retail unit comprising ground and basement accommodation in a retail complex  |
| <b>1.11</b> | <b>Age</b>  | Circa 1975  |
| <b>1.12</b> | <b>Situation and Neighbourhood</b>                                    | The property is situated in a suburb of Birmingham with a combination of both residential and retail/commercial units.  |
| <b>1.13</b> | <b>Access into the property</b>                                       | Access from the ground floor front entrance. The basement has a fire exit door to the front.  |
| <b>1.14</b> | <b>The Local Authority area in which the property lies</b>            | Solihull MBC  |
| <b>1.15</b> | <b>The Site</b>   | The site is across ground and first floors. The current unit is to be split and the client is only occupying the right hand side as noted in red on the site plan.  |

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| 1.16 | <b>Flooding</b>                          | Flooding is not likely under normal weather conditions.  |
| 1.17 | <b>Location Factors</b>                  | There are no known location factors that would adversely affect the value of the property.   |
| 1.18 | <b>Directions</b>                        | For the purpose of description within this report all directions are given as facing the front elevation of the property looking towards the rear.   |
| 1.19 | <b>Weather at the time of the survey</b> | Dry circa 15 degrees.  |
| 1.20 | <b>General items for your Solicitor</b>  | None.  |
| 1.21 | <b>Mining</b>                            | The property is not known to be situated in a mining area.   |
| 2.00 | <b><u>OUTSIDE THE PROPERTY</u></b>       |  |
| 2.01 | <b>Flat Roofs</b>                        | <p><b>Description/Photo:</b> Covered with felt to the entire property. Vents/ducts provided for extractor fans and air conditioning systems and appear in a serviceable condition.</p> <p style="text-align: right;">Photos 8 - 17</p> <p><b>Defect:</b> No provision for rainwater management within curtilage of subject property. Lack of falls noted.</p> <p><b>Remedial Action:</b> Monitor and remedy if required however considered unlikely. Remedial work likely to be costly and problematic unless considered as part of the next re-roofing works.</p> |
| 2.02 | <b>Main External Walls - Front</b>       | <p><b>Description/Photo:</b> Front parapet wall above canopy assumed cavity brickwork. No significant cracking, damage or deterioration noted.</p> <p style="text-align: right;">Photos 2 - 3</p> <p><b>Defect:</b> None</p> <p><b>Remedial Action:</b> None</p>   |

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| <b>2.03</b> | <b>Canopy – Front</b>                                      | <p><b>Description/Photo:</b> Metal profile sheet canopy. No impact damage or deterioration.</p> <p style="text-align: right;">Photos 3 - 4</p> <p><b>Defect:</b> Begrimed.</p> <p><b>Remedial Action:</b> Deep clean.</p>   |
| <b>2.04</b> | <b>Shopfront</b>   | <p><b>Description/Photo:</b> Blank signage installed. Roller shutter installed showing some minor corrosion. The entire shop front is single glazed within aluminium frames. No toughened markings noted to glass.</p> <p style="text-align: right;">Photos 5 - 7</p> <p><b>Defect:</b> Scuffed and begrimed.</p> <p><b>Remedial Action:</b> Deep clean.</p>  |
| <b>3.00</b> | <b><u>INSIDE THE PROPERTY</u></b>                          |   |
| <b>3.01</b> | <b>Basement Ceiling Structure (Ground floor structure)</b> | <p><b>Description/Photo:</b> Profiled concrete.</p> <p style="text-align: right;">Photos 20, 21, 33 and 34</p> <p><b>Defect:</b> Some minor cracking noted in areas, not considered significant. Repairs carried out to the front of the basement to suggest possible water ingress issues between the wall and ceiling.</p> <p><b>Remedial Action:</b> Monitor and carry out suitable watertight repair should water ingress become evident.</p> |
| <b>3.02</b> | <b>Basement Front wall and door</b>                        | <p><b>Description/Photo:</b> Brickwork showing no significant cracking or deterioration. Fire Exit door scuffed and dated however serviceable and operational.</p> <p style="text-align: right;">Photos 28 and 29</p>   |

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|------|------------------------------------|--|
|      |                                    | <p><b>Defect:</b> Begrimed.</p> <p><b>Remedial Action:</b> Deep clean.</p>   |
|      |                                    |  |
|      |                                    |  |
| 3.03 | Ceilings – Stairs and Ground floor | <p><b>Description/Photo:</b> Suspended metal grid with inset mineral fibre ceiling tiles. Emergency lighting and smoke detection provided.</p> <p>Photos 45, 52, 58, 63, 75, 78, 88, 94, 96-97, 103</p> <p><b>Defect:</b> Some tiles are damaged and stained. Staining assumed to be as result of leakage from the air condition system.</p> <p><b>Remedial Action:</b> Replace tiles where required stained or damaged. Should further staining occur, investigate to establish whether ducting is in need of repair.</p> |
|      |                                    |  |
|      |                                    |  |
| 3.04 | Basement walls and floors          | <p><b>Description/Photo:</b> Largely decorated brickwork and blockwork. Some decorated plasterboard walls adjacent to internal doors.</p> <p>Photos 18, 19, 22-26, 30-32, 35, 36</p> <p><b>Defect:</b> Decorative finish deteriorating in errors. Some impact damage to the right of the stairs.</p> <p><b>Remedial Action:</b> Redecorate and repair damage to provide adequate fire compartmentation.</p>  |
|      |                                    |  |
|      |                                    |  |
| 3.05 | Basement WC space                  | <p><b>Description/Photo:</b> Plaster/plasterboard ceiling and wall finishes. Timber internal joinery. Floor tiles removed. No sanitary appliances installed.</p> <p>Photos 37 - 44</p> <p><b>Defect:</b> Damaged wall and ceilings. Decorative finish poor. Staining where possible leakage occurred.</p>  |

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|      |   | <p><b>Remedial Action:</b> Consider demolition or entire reconstruction. Re-plaster where staining noted prior to redecoration. Should further leakage occur, investigate as required. Repair walls and ceilings prior to redecoration as required. Reinstate sanitary appliances as required.</p>   |
|      |   |  |
|      |   |  |
| 3.06 | <b>Ceiling Void (above suspended ceilings to ground floor and stairs)</b> | <p><b>Description/Photo:</b> Concrete roof structure moulded profile. No significant staining noted. Some compartmentation provided.</p> <p style="text-align: center;">Photos 47, 55, 60, 65-66, 106 - 115</p> <p><b>Defect:</b> No compartmentation noted where the current unit is to be split in two.</p> <p><b>Remedial Action:</b> Fire compartmentation to be upgraded in line with the recommendations of Fire Risk Assessment.</p>  |
|      |   |  |
| 3.07 | <b>Stairwell</b>  | <p><b>Description/Photo:</b> Ceiling is a suspended metal grid with mineral tiles. Walls are plasterboarded and finished with paint. Timber skirtings. Carpet floor tiles with nosings to steps. Plastic handrail to right. Electric wall mounted heater to basement.</p> <p style="text-align: center;">Photos 45-46, 48-54</p> <p><b>Defect:</b> Scuff marks and some staining to walls. Carpet floor tiles begrimed dated and loose in areas.</p> <p><b>Remedial Action:</b> Refix carpet floor tiles as required. Deep clean carpet floor tiles or replace. Redecorate walls and internal joinery as required. The handle to the door at the top of the stairs does not appear fire rated and should be replaced as required in line with the FRA recommendations.</p> |
|      |   |  |
|      | <b>Rear Staff Area</b>  | <p><b>Description/Photo:</b> Suspended ceiling grid with mineral tiles. Walls are finished with textured wallpaper. Decorated timber skirtings and carpet floor tiles. Front features kiosk installation.</p>  |



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|  |                              | <p style="text-align: right;">Photos 56-59, 61</p> <p><b>Defect:</b> The occasional ceiling tiles are stained. Some impact damaged and staining noted to the walls. Slight scuff marks to skirtings. Carpet floor tiles worn and begrimed.</p> <p><b>Remedial Action:</b> Replace ceiling tiles as required. Upgrade wall finishes and skirtings as required. Clean or replace floor tiles.</p>  |
|  | <p><b>Rear Office</b></p>    | <p><b>Description/Photo:</b> Suspended ceiling grid with mineral tiles. Walls are finished with textured wallpaper. Decorated timber skirtings and carpet floor tiles.</p> <p style="text-align: right;">Photos 89 - 95</p> <p><b>Defect:</b> The occasional ceiling tiles are stained. Some impact damaged and staining noted to the walls. Slight scuff marks to skirtings. Carpet floor tiles worn and begrimed.</p> <p><b>Remedial Action:</b> Replace ceiling tiles as required. Repair and upgrade/decorate wall finishes and skirtings as required. Clean or replace floor tiles.</p> |
|  | <p><b>Central Office</b></p> | <p><b>Description/Photo:</b> Suspended ceiling grid with mineral tiles. Walls are finished with textured wallpaper. Decorated timber skirtings and carpet floor tiles.</p> <p style="text-align: right;">Photos 71 - 72</p> <p><b>Defect:</b> The occasional ceiling tiles are stained. Some impact damaged and staining noted to the walls. Slight scuff marks to skirtings. Carpet floor tiles worn and begrimed.</p> <p><b>Remedial Action:</b> Replace ceiling tiles as required. Repair and upgrade/decorate wall finishes and skirtings as required. Clean or replace floor tiles.</p> |
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|  | <p><b>Front Office</b></p>      | <p><b>Description/Photo:</b> Suspended ceiling grid with mineral tiles. Walls are finished with textured wallpaper. Decorated timber skirtings and carpet floor tiles.</p> <p style="text-align: right;">Photos 76-79</p> <p><b>Defect:</b> The occasional ceiling tiles are stained. Some impact damaged and staining noted to the walls. Slight scuff marks to skirtings. Carpet floor tiles worn and begrimed.</p> <p><b>Remedial Action:</b> Replace ceiling tiles as required. Repair and upgrade/decorate wall finishes and skirtings as required. Clean or replace floor tiles.</p>  |
|  | <p><b>Ground Floor Area</b></p> | <p><b>Description/Photo:</b> Suspended ceiling grid with mineral tiles. Walls are finished with textured wallpaper. Decorated timber skirtings. Floors are covered with carpet tiles and vinyl tiles.</p> <p style="text-align: right;">Photos 68-70, 80-88, 96-102, 104-105</p> <p><b>Defect:</b> The occasional ceiling tiles are stained. Some impact damaged and staining noted to the walls. Slight scuff marks to skirtings. Carpet floor tiles worn and begrimed.</p> <p><b>Remedial Action:</b> Replace ceiling tiles as required. Repair and upgrade/decorate wall finishes and skirtings as required. Clean or replace floor tiles.</p> |
|  | <p><b>Accessible WC</b></p>     | <p><b>Description/Photo:</b> Suspended ceiling tiles and grid. Walls are plasterboard and painted. Timber skirtings. Vinyl floor coverings. Fixings include: WC, wash hand basin, hand dryer, toilet roll, towel and soap dispenser. Numerous handrails provided.</p> <p style="text-align: right;">Photos 62-64, 67</p> <p><b>Defect:</b> Some staining to the front wall, right corner suggesting either leakage of concealed pipework or possible water ingress.</p>   |

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|             |                                   | <b>Remedial Action:</b> Renew wall finishes and redecorate. Monitor as required.   |
|             |                                   |  |
| <b>4.00</b> | <b><u>Asbestos</u></b>            | <p>No obvious asbestos containing materials were noted, however may be concealed.</p> <p>Where floor tiles have been removed, the adhesive may be asbestos containing however this has been largely removed.</p> <p>We recommend an Asbestos Refurbishment Report be carried out ahead of shop fitting.</p>  |
|             |                                   |  |
| <b>5.00</b> | <b><u>Services</u></b>            |  |
|             |                                   |  |
| <b>5.01</b> | <b><u>Electrics/Water</u></b>     | <p><b>Description/Photo:</b> Electric meter provided to the inside of the front wall within the basement. Consumer unit provide to the right side corridor at ground floor. Modern installation. Property is understood not to have a water meter.</p> <p style="text-align: right;">Photos 27 and 84</p> <p><b>Defect:</b> Electric appear overdue 5 yearly inspection</p> <p><b>Remedial Action:</b> Re-test electrics. Confirm if a water meter is present and the location of stop tap.</p>          |
|             |                                   |  |
| <b>6.00</b> | <b><u>Indicative Costings</u></b> | <p>We understand the removal/disposal of the current shop fit out installation is to be undertaken by others therefore costs excluded.</p> <p>We understand all works to split the current unit in two (including, but not limited to, any necessary fire compartmentation and alterations to M&amp;E installations) are to be undertaken by others, therefore costs excluded.</p> <p>Future shop fit out costs in line with the clients aspirations and design have been excluded from this report.</p> |

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|             |  | <p>We anticipate the following repairs will fall outside of the repairs responsibility of the incoming tenant. However, provisional and contingency sums are provided below:</p> <ul style="list-style-type: none"> <li>- Staining to the front wall of the accessible WC to indicate water ingress from the shopfront glazing or concealed pipework. Provisional Sum £1,000.</li> <li>- Staining within the basement WC's to indicate leakage from concealed pipework. Provisional Sum £1,000.</li> <li>- Staining noted to the right basement wall below the accessible WC suggesting leakage from the accessible WC. Provisional Sum £1,000.</li> <li>- A repair has been carried out between the basement front wall and ceiling to indicate possible water ingress issues. Provisional Sum £2,000</li> </ul> |
| <b>7.00</b> | <b><u>Recommended Additional Inspections</u></b> | <p>We recommend the electrical installations be inspected by a NICEIC Registered Specialist Contractor.</p> <p>Fire alarm should be altered as required to take into account the unit is going to be split in two. Service/test system as required.</p> <p>Test air conditioning units to ensure operational and compliant.</p>   |
| <b>8.00</b> | <b><u>Conclusion</u></b>                         | <p>Externally the property appears in good order. Internally the property is generally neglected with some damage. We understand a full fit out will be carried out and attention needs to be given to fire compartmentation including above the suspended ceilings as we understand the current unit is to be split in two.</p>  |
|             | <b>Dated: 19 May 2023</b>                        |   |
|             |  |   |
|             |  |   |

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|--|--|--|
|  | <p><b>Signed:</b></p>  <p><b>Pete Mallinson MRICS</b><br/><b>Building Surveyor</b></p> <p><b>For Allcott Associates LLP</b><br/><b>Unit 3, The Fosse</b><br/><b>Fosse Way</b><br/><b>Leamington Spa</b><br/><b>CV31 1XN</b></p> <p><b>Email: XXXX</b><br/><b>Website: <a href="https://allcottcommercial.co.uk/">https://allcottcommercial.co.uk/</a></b></p> |  |
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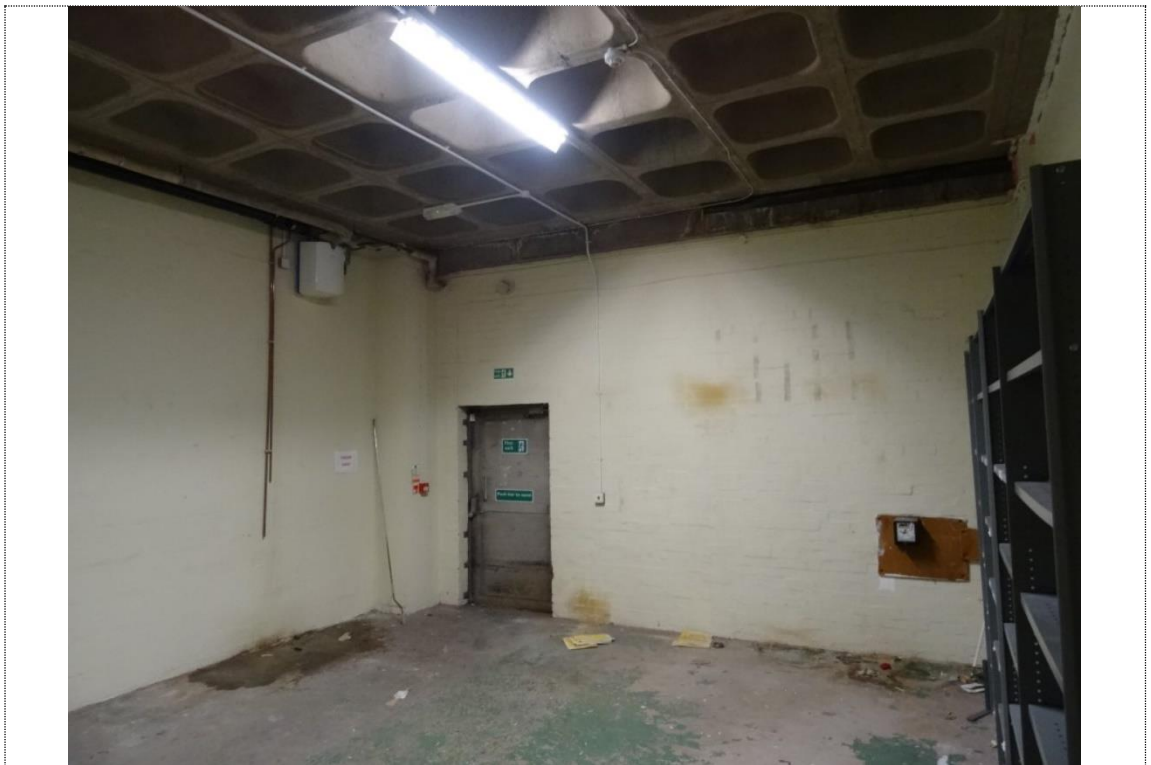
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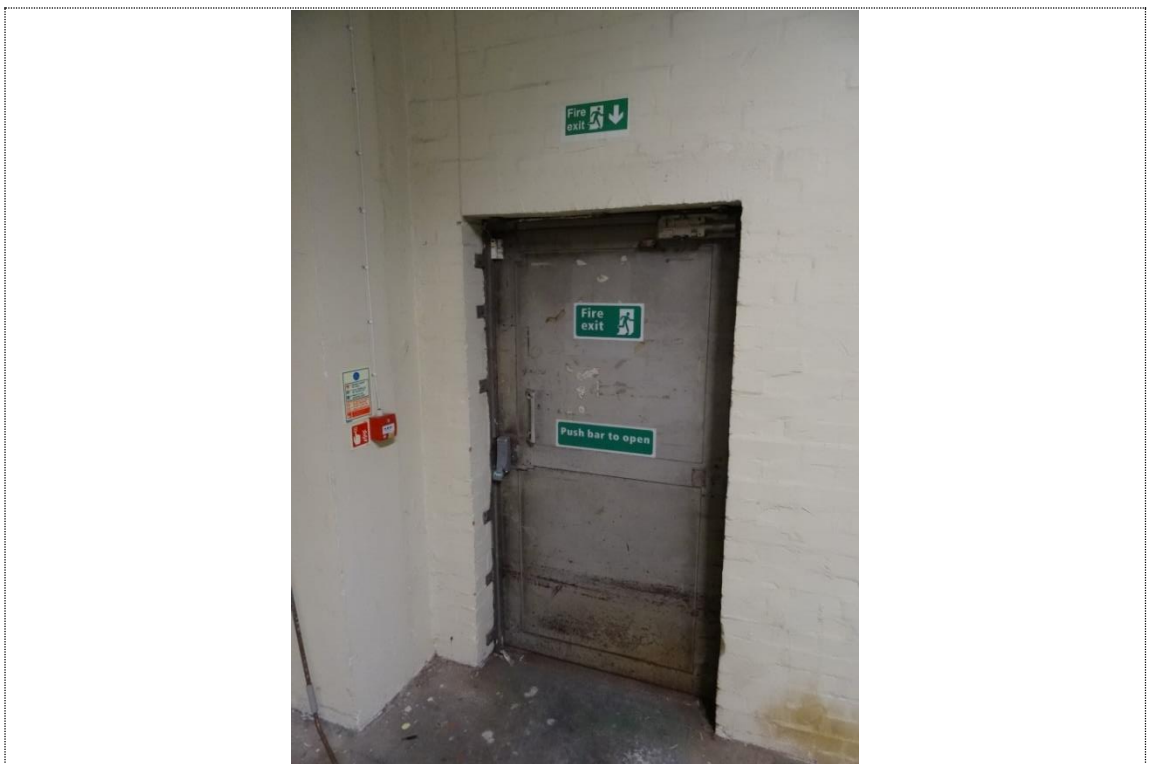
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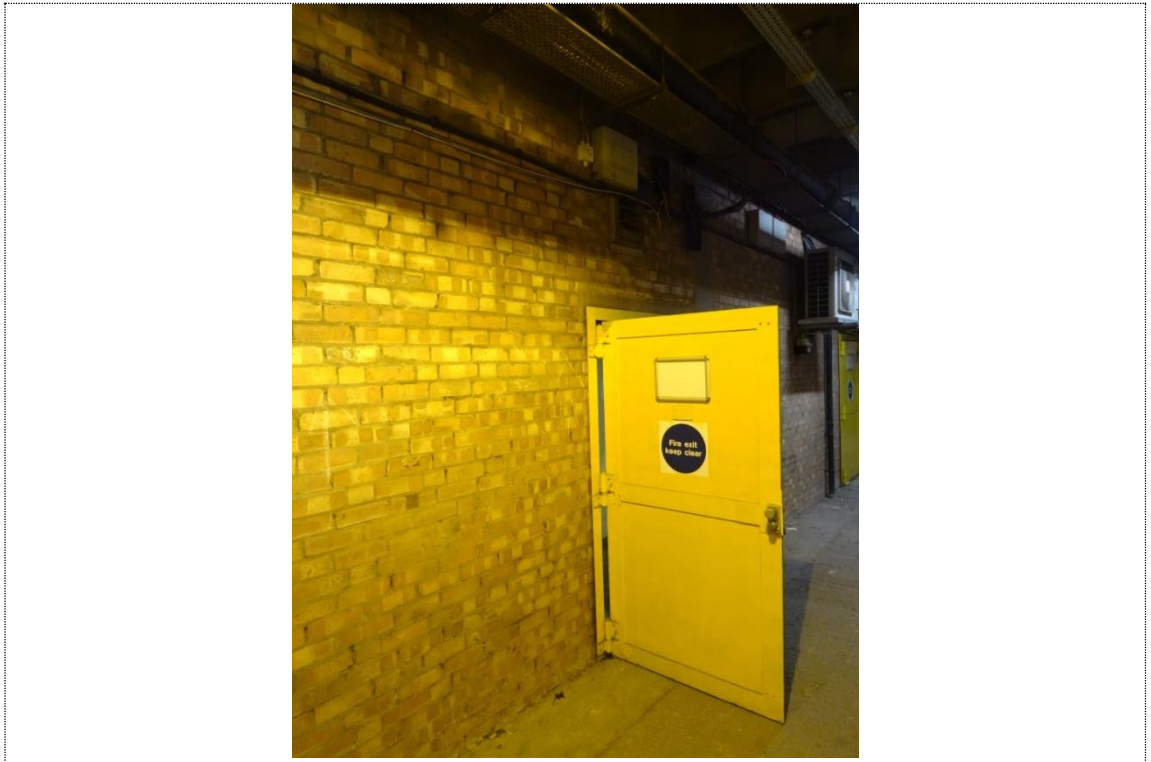
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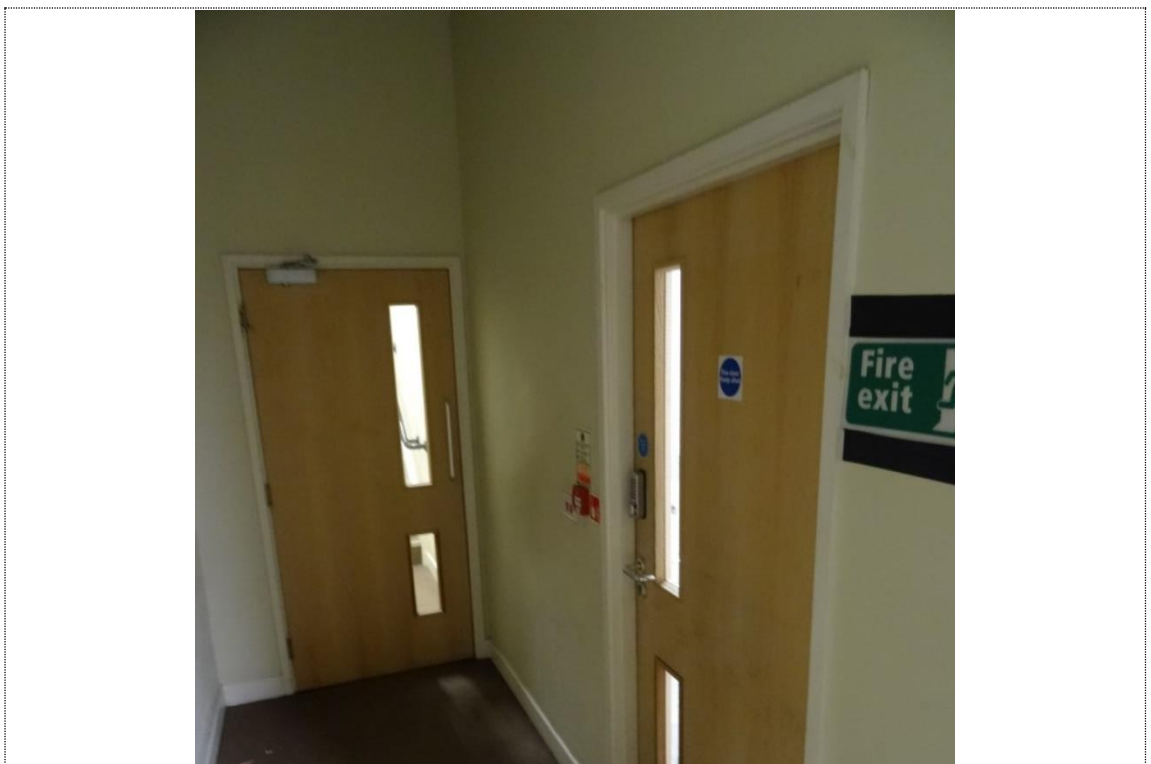


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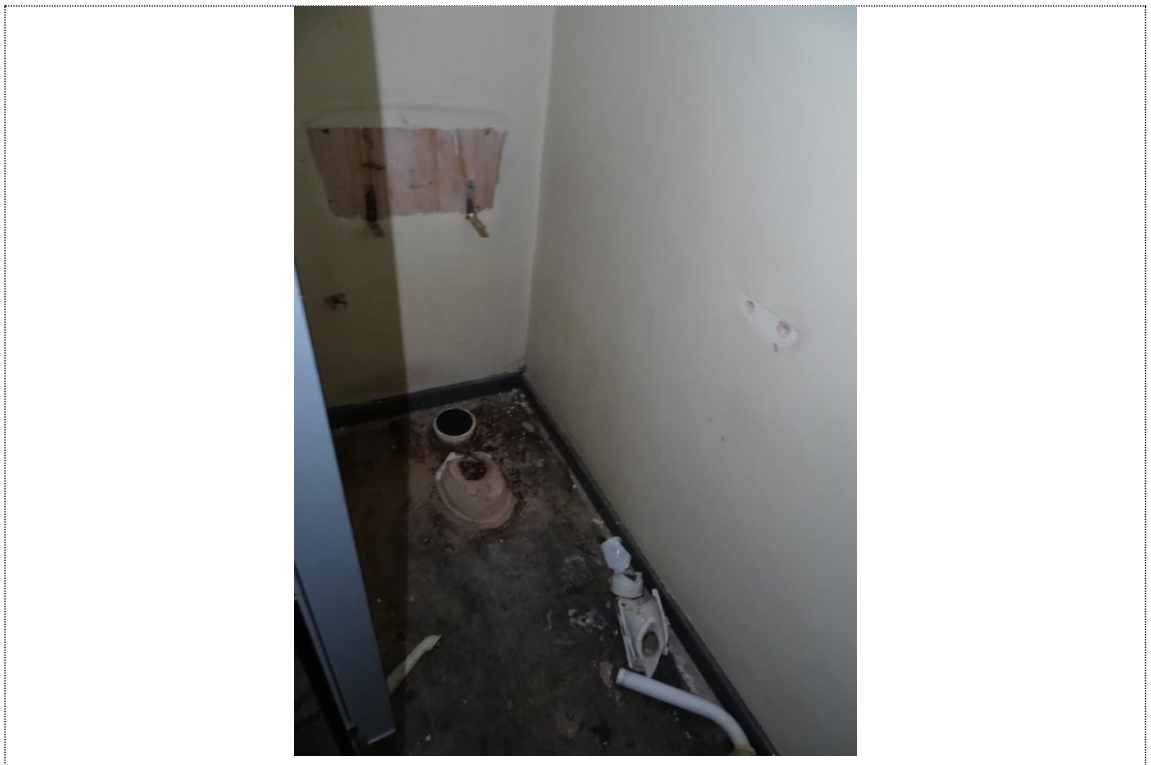
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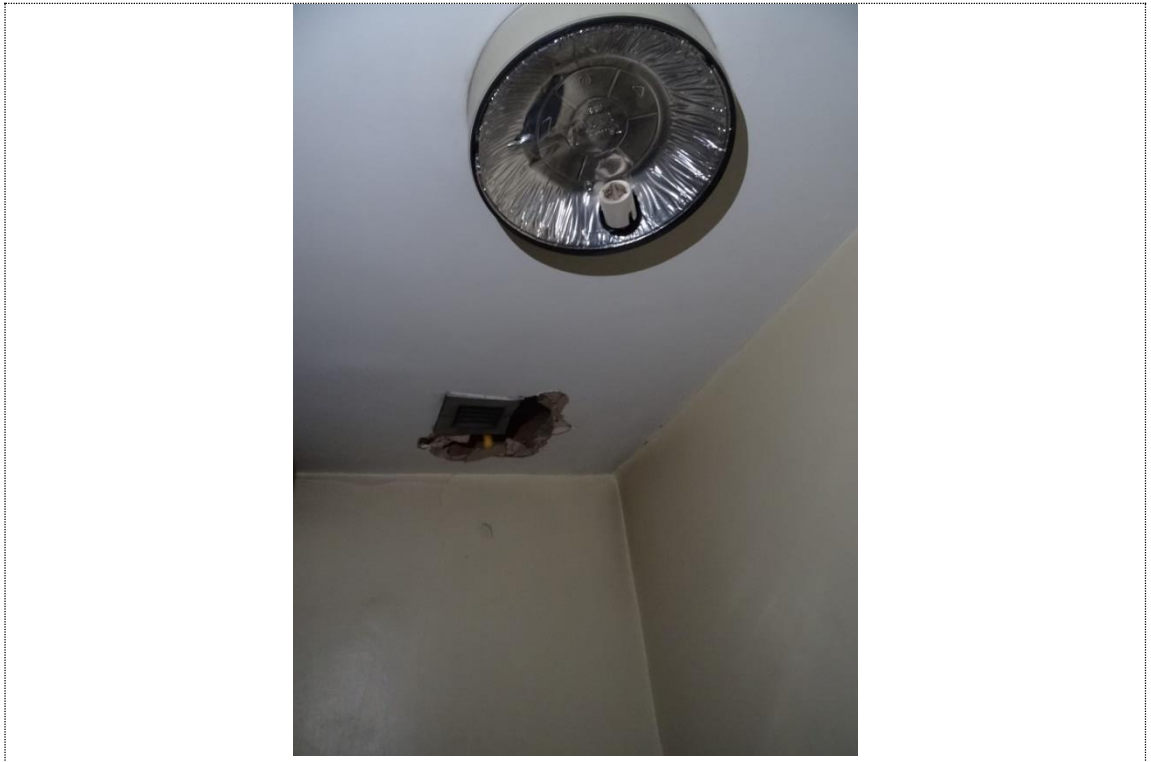
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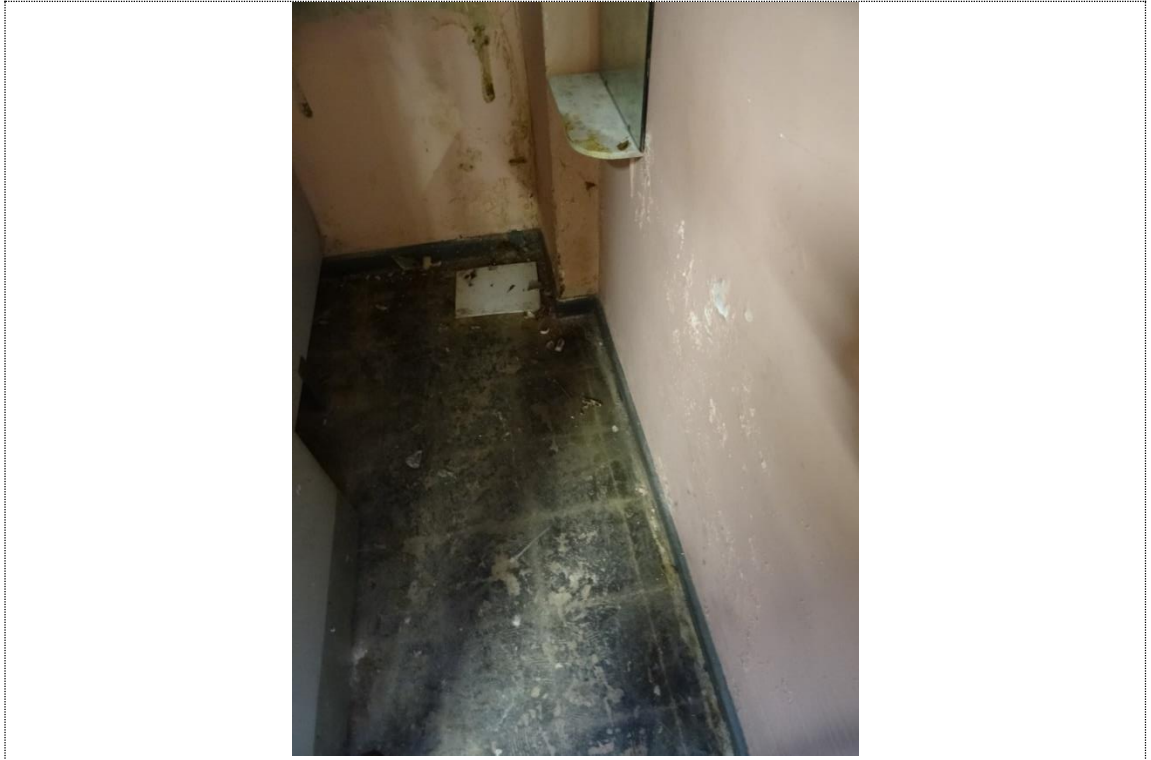
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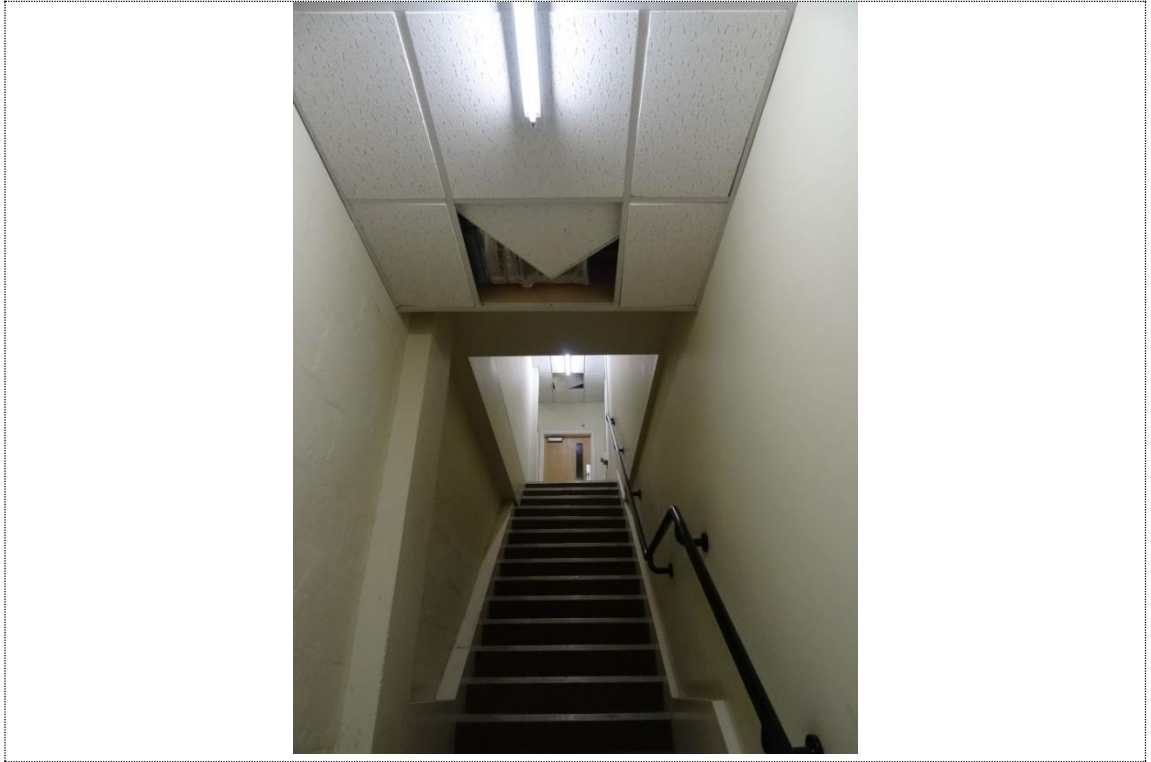
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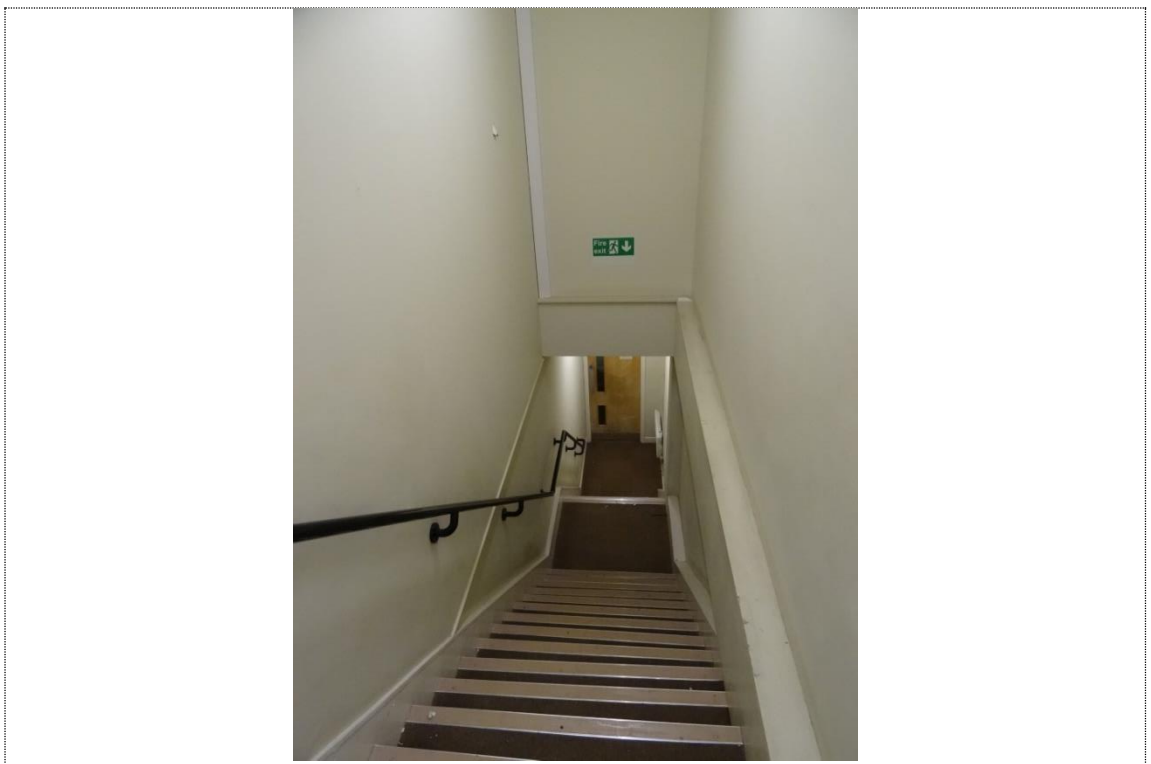
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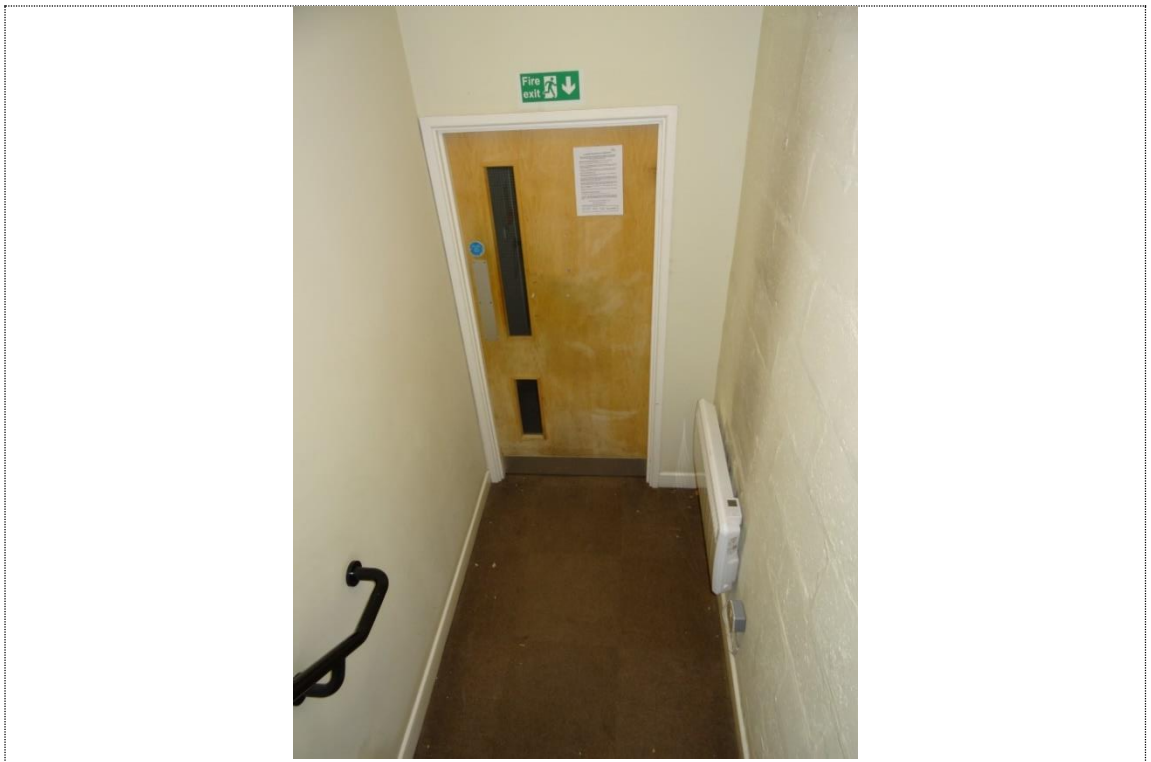
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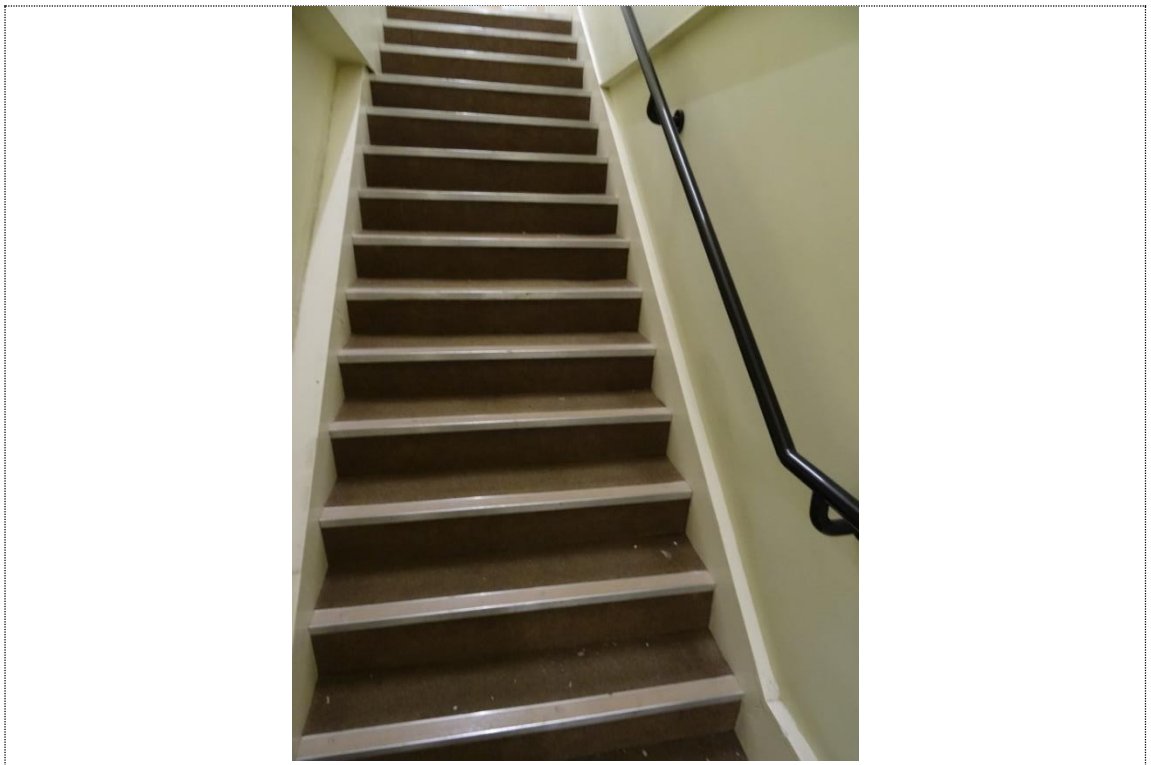


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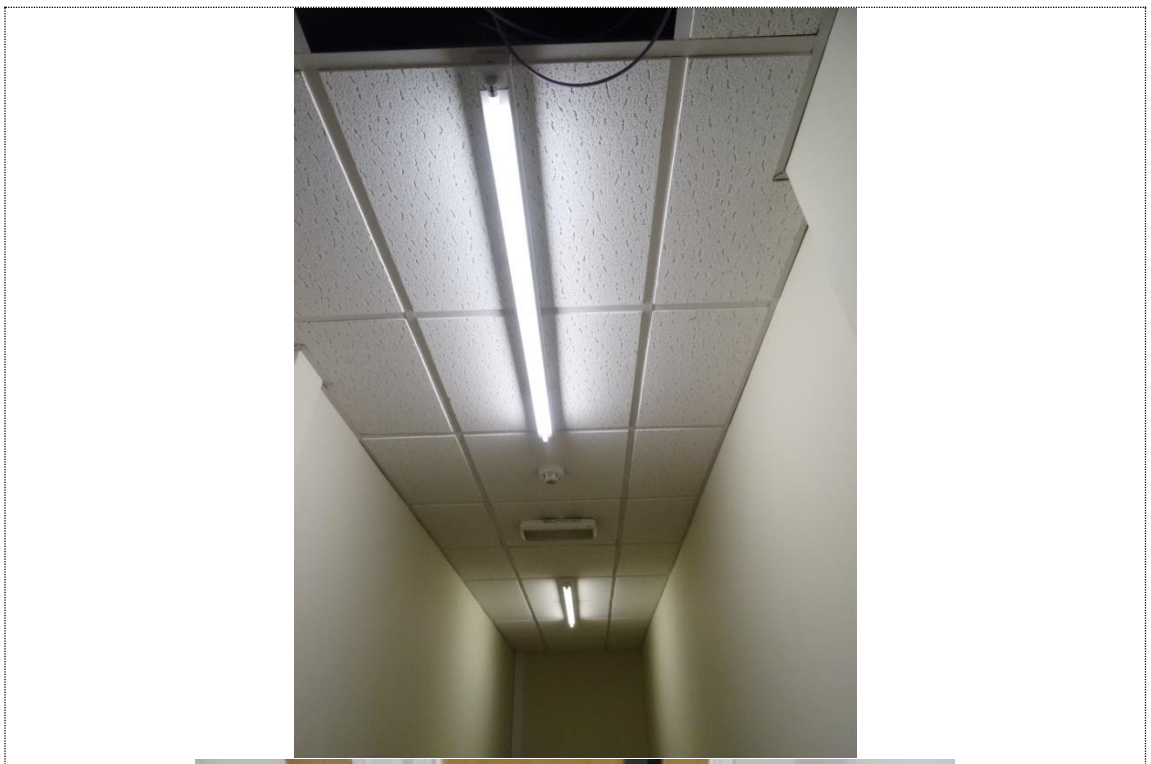


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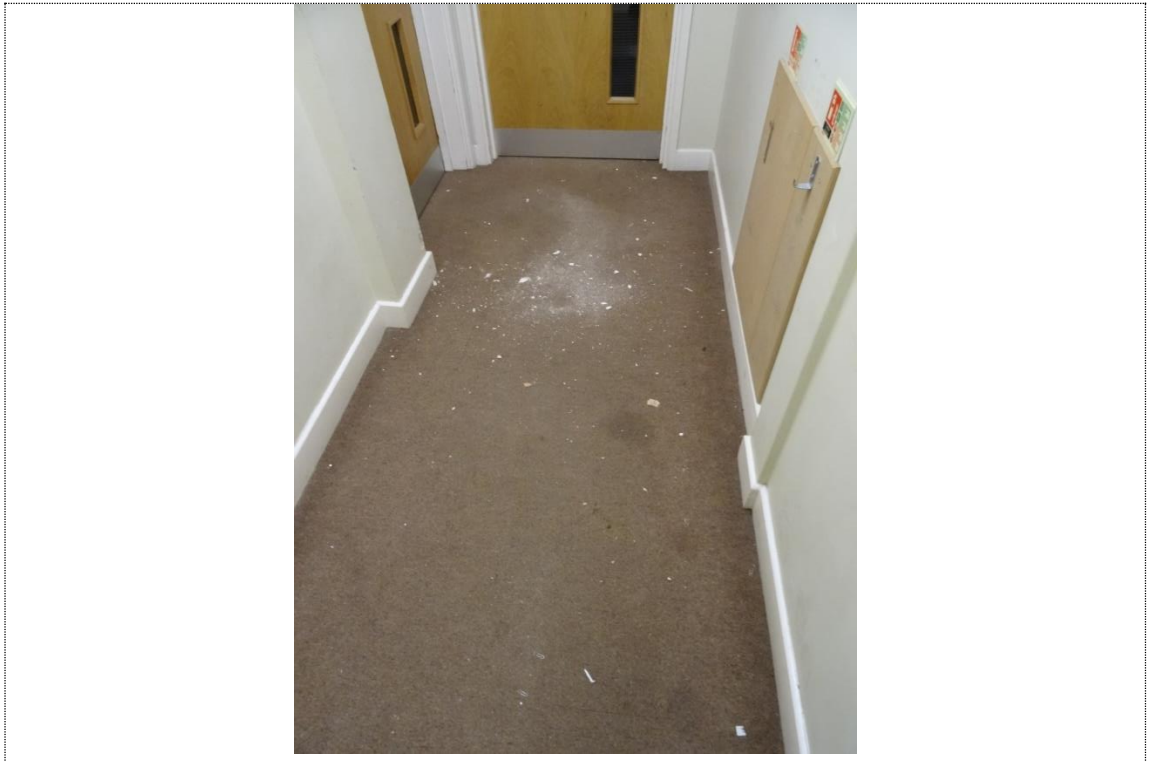
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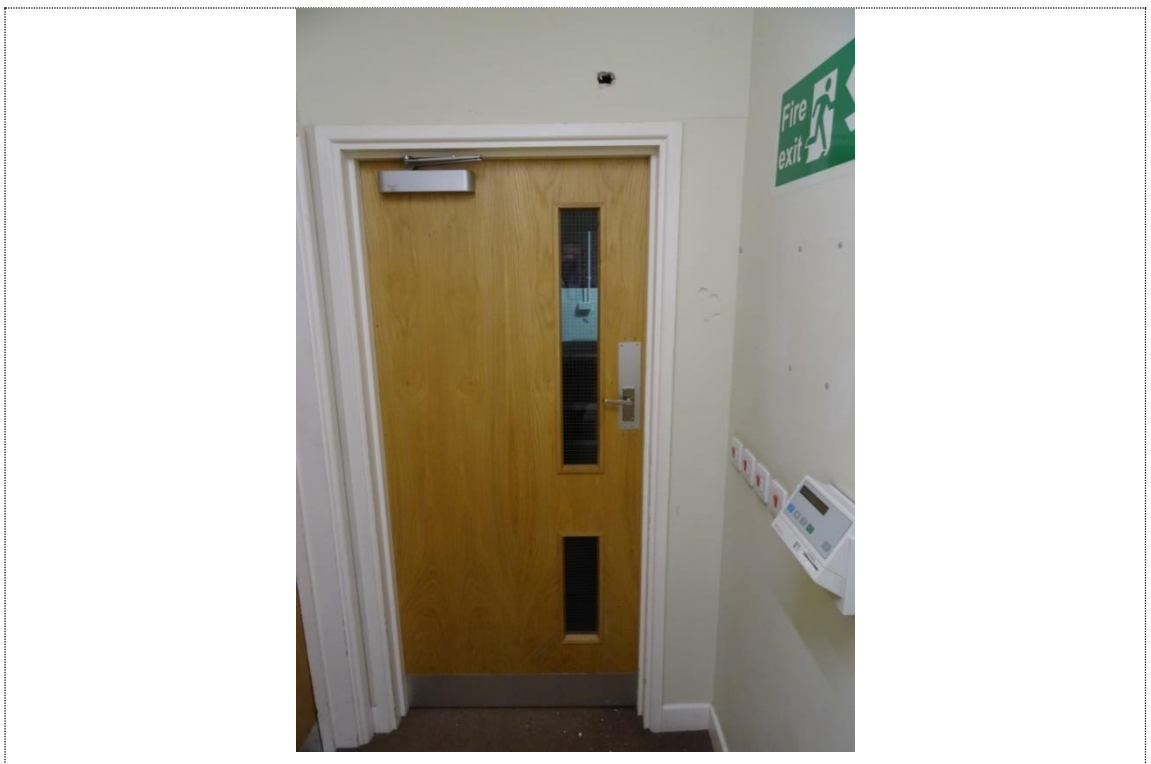
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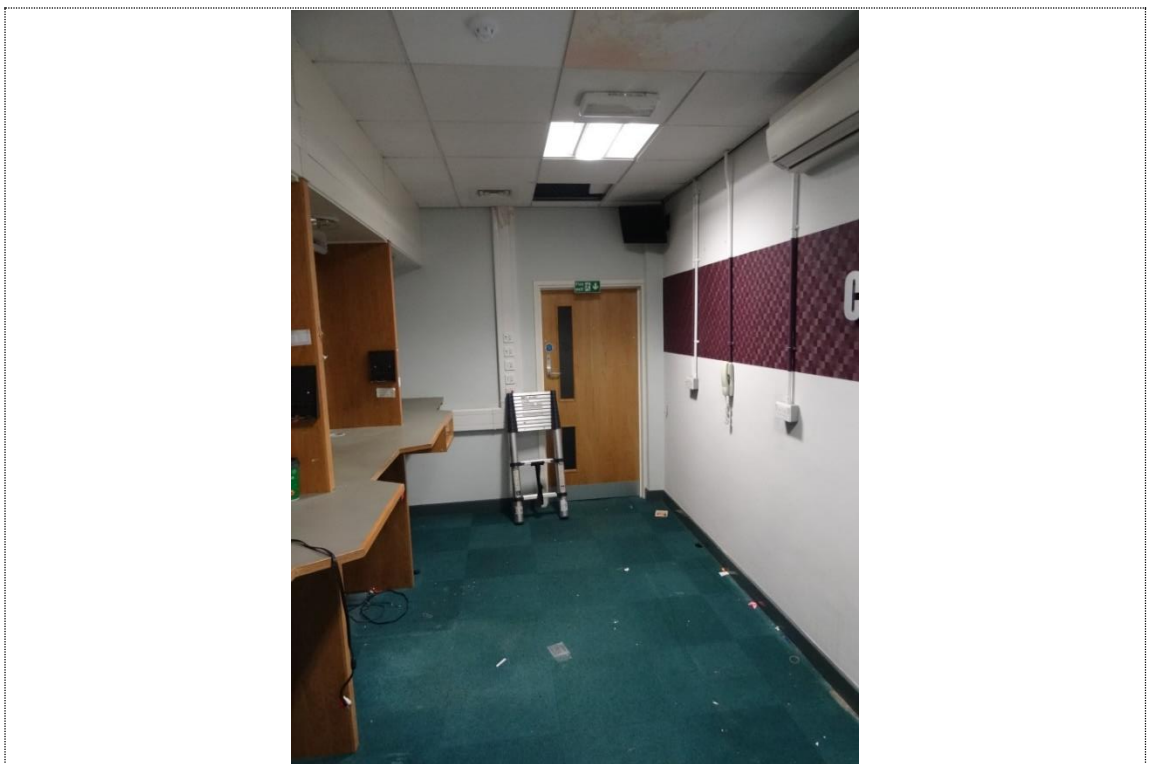
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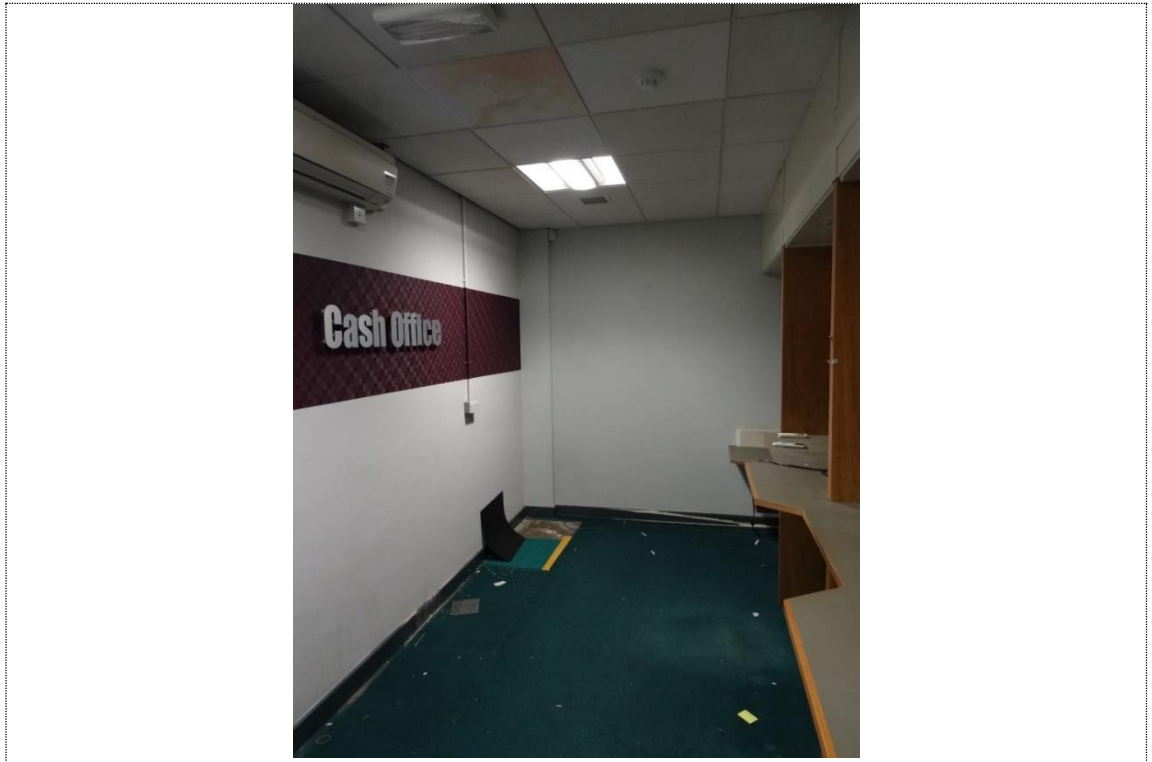
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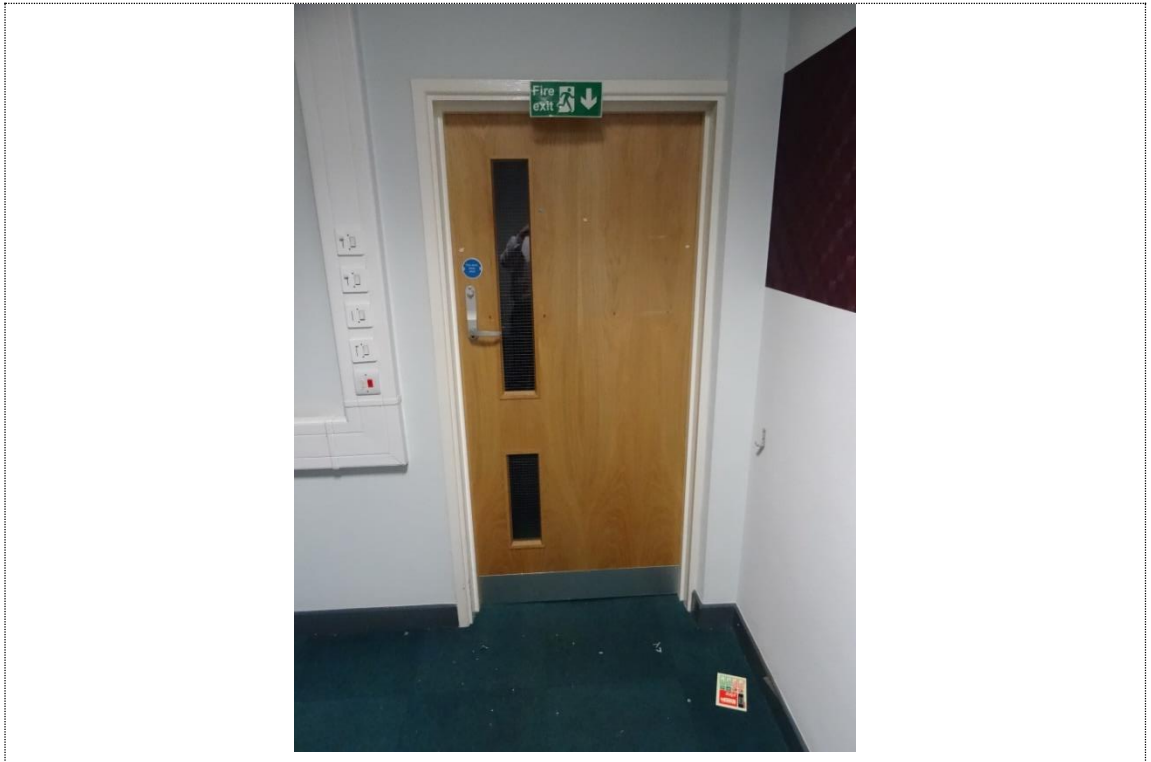
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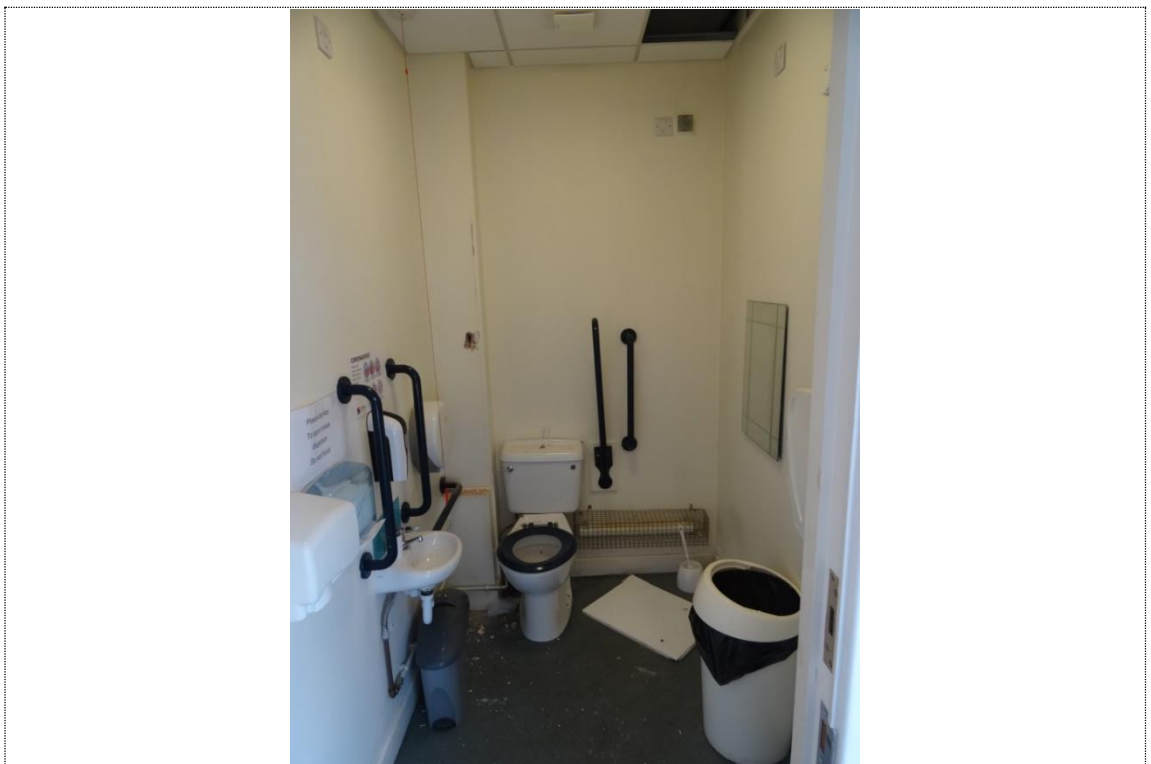
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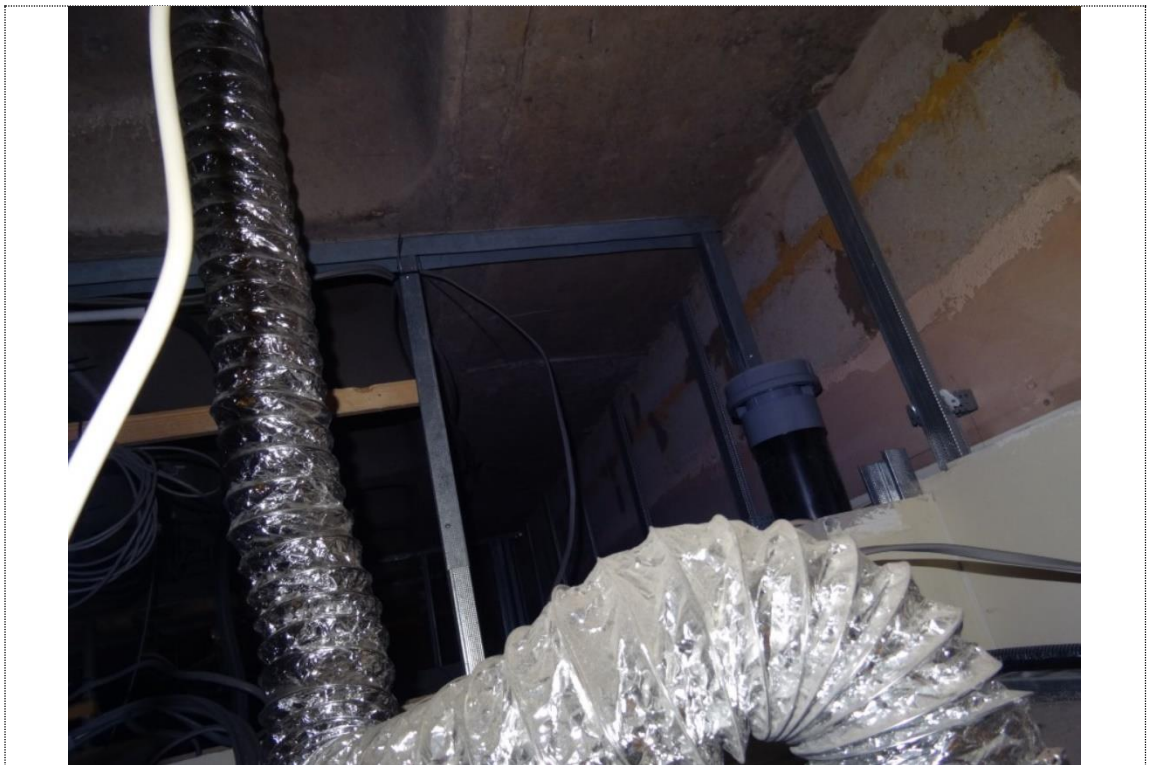
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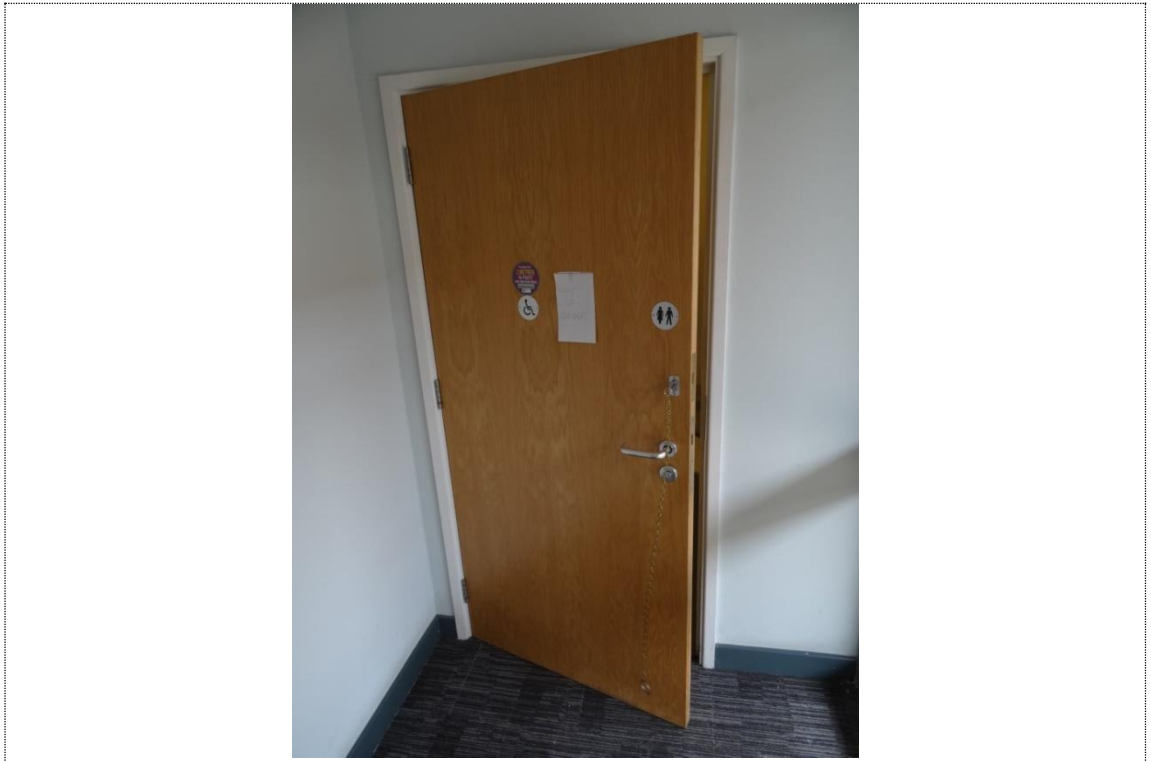
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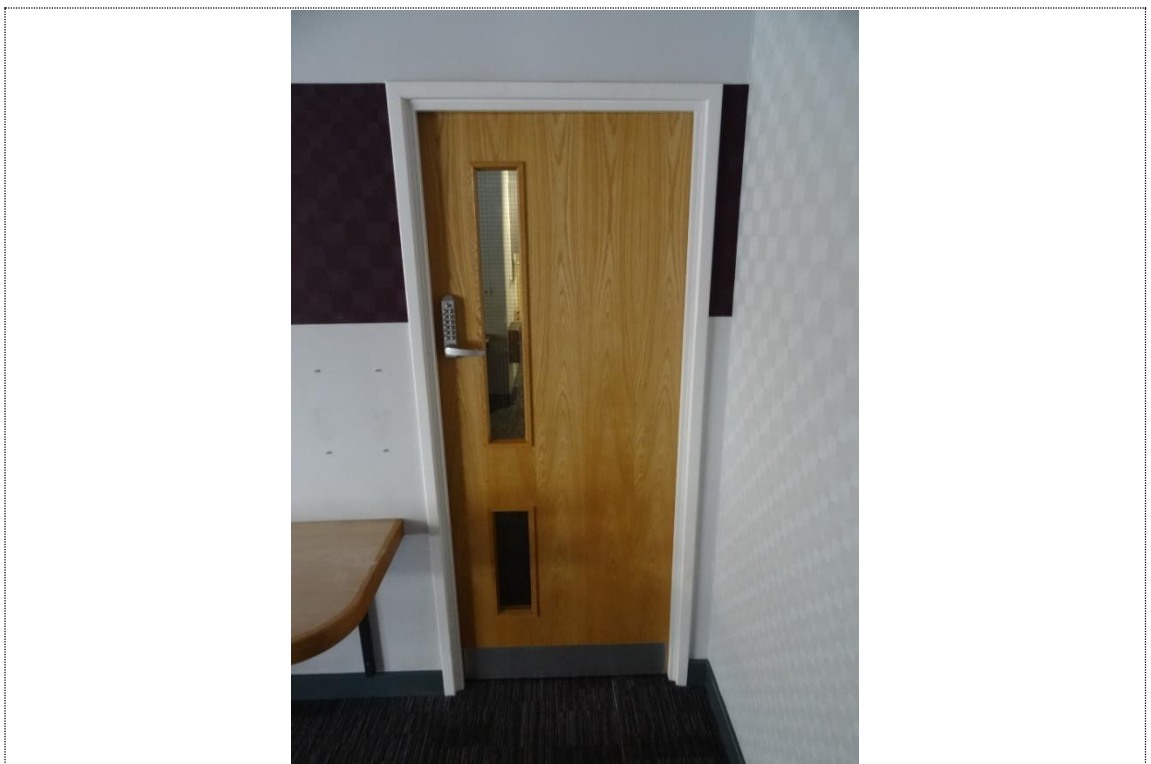
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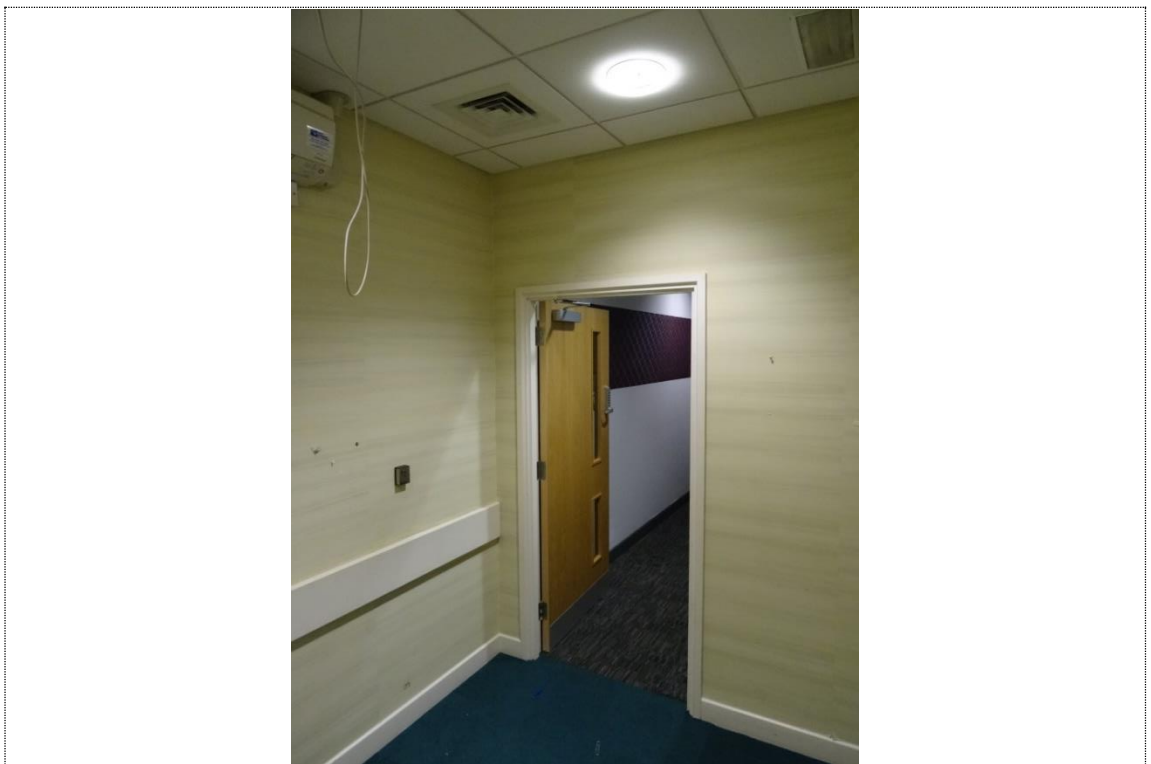
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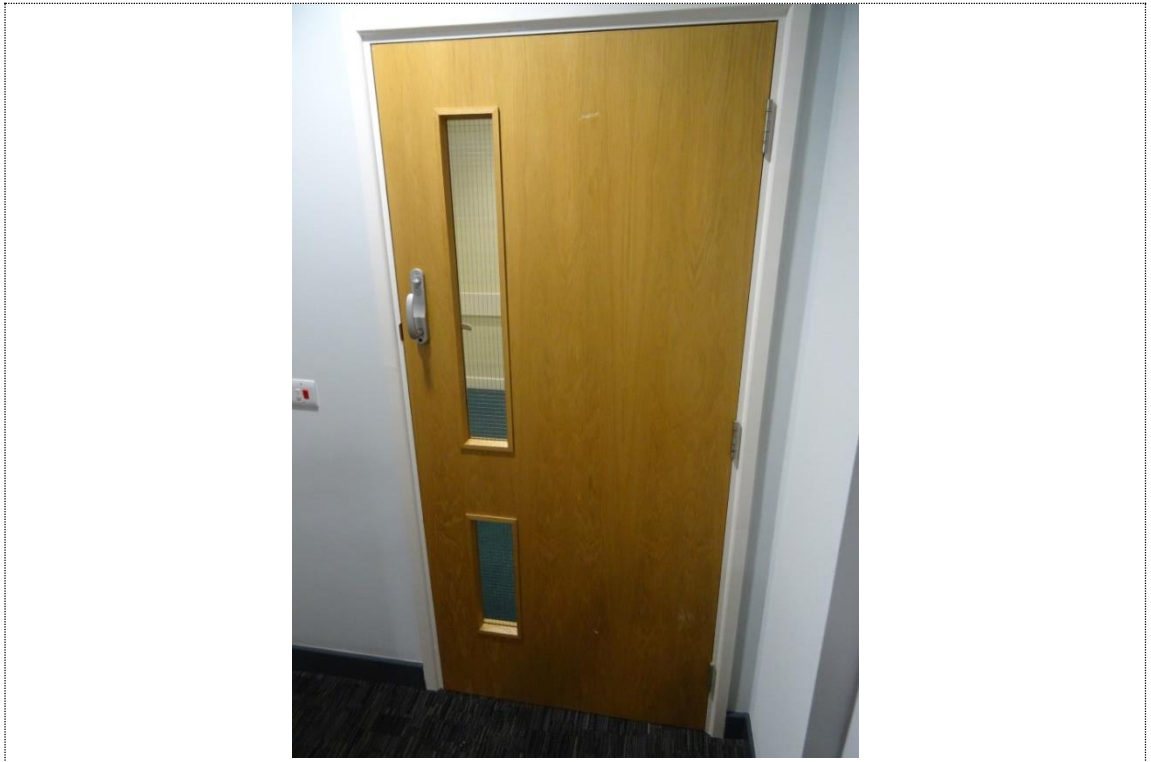
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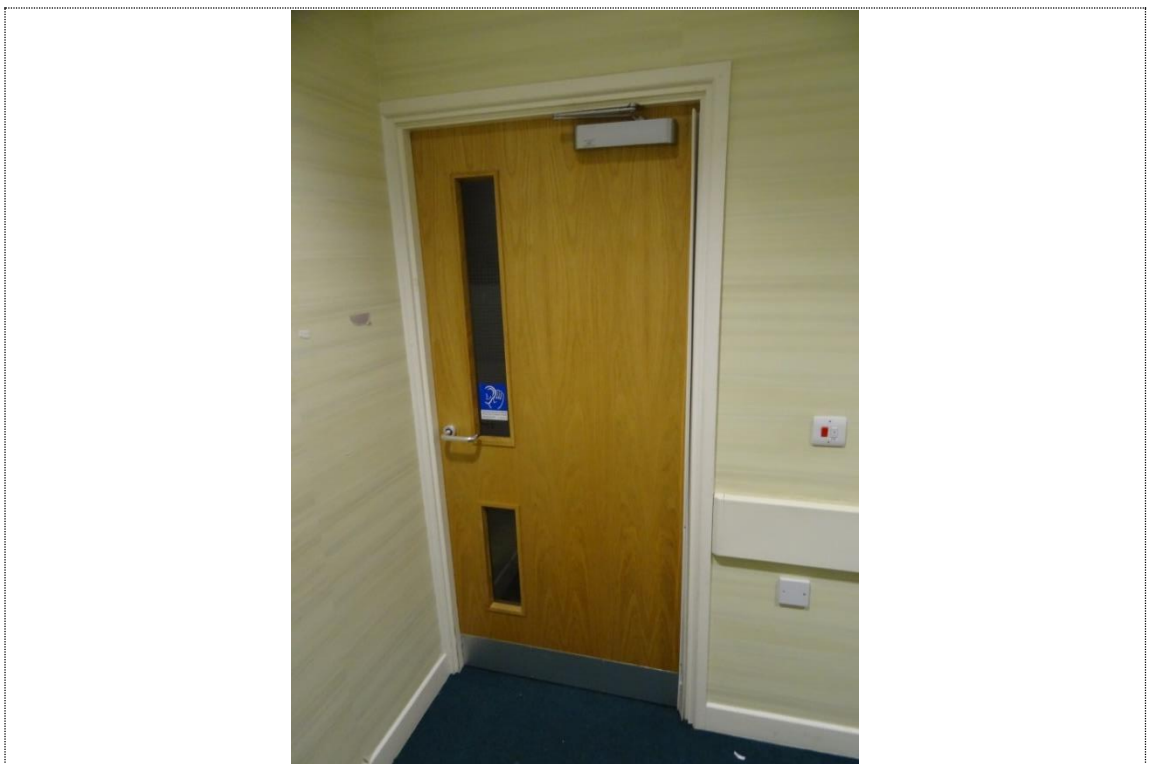
Photograph:

72



Photograph:

73



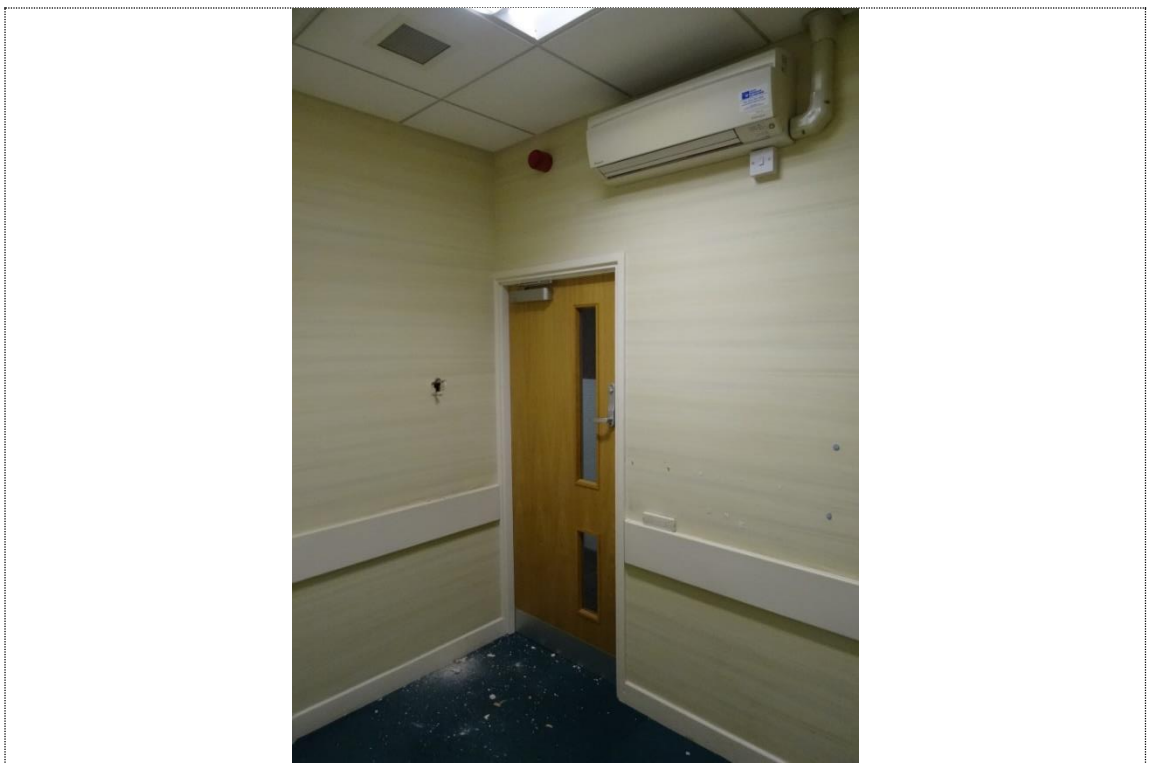
Photograph:

74



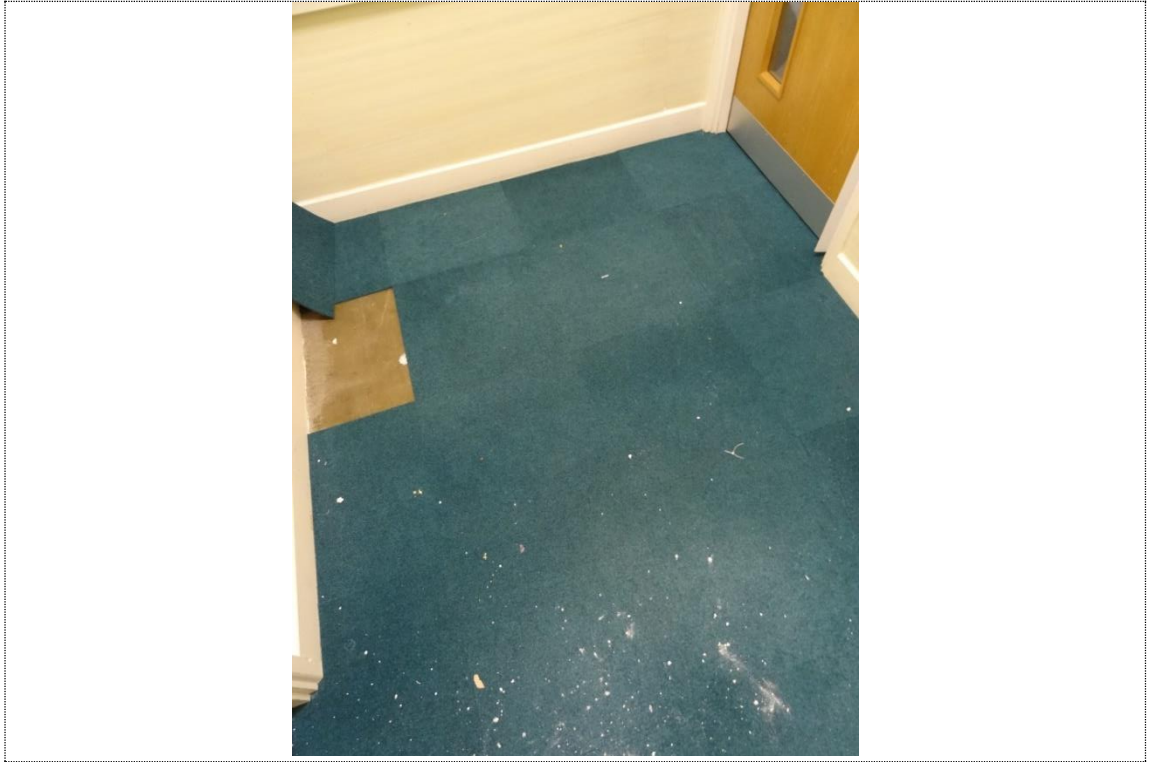
Photograph:

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Photograph:

76



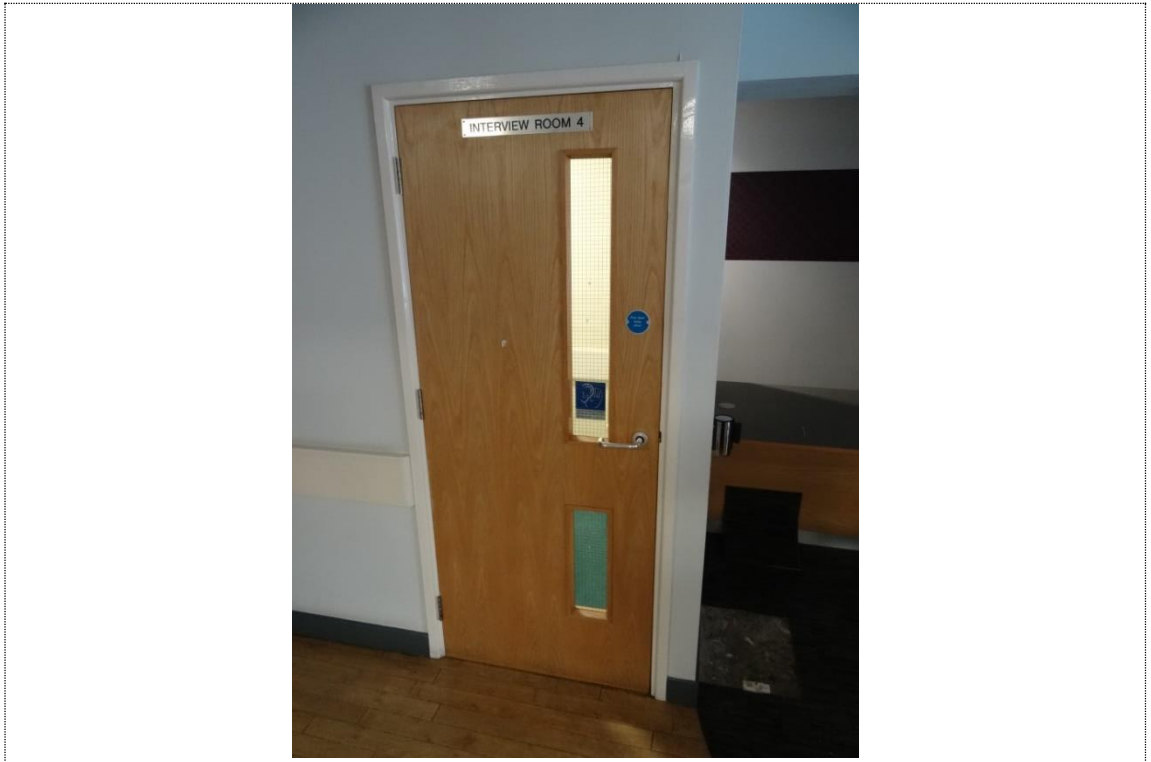
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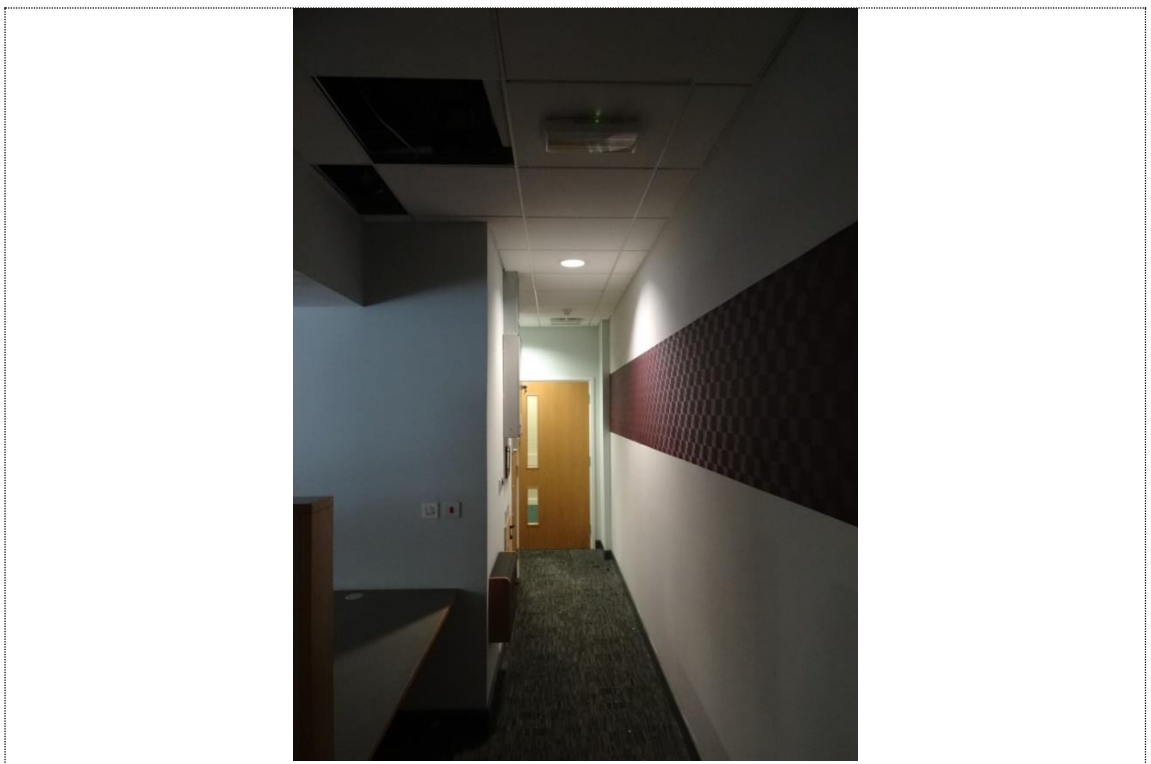
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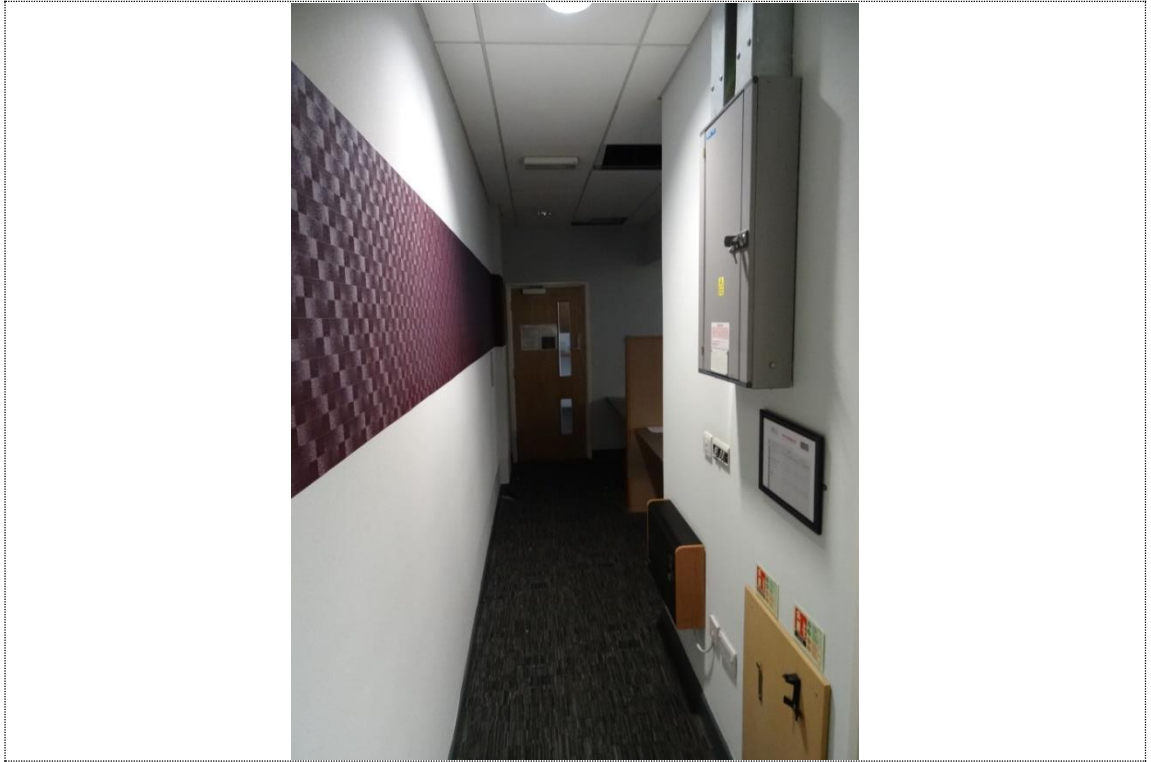
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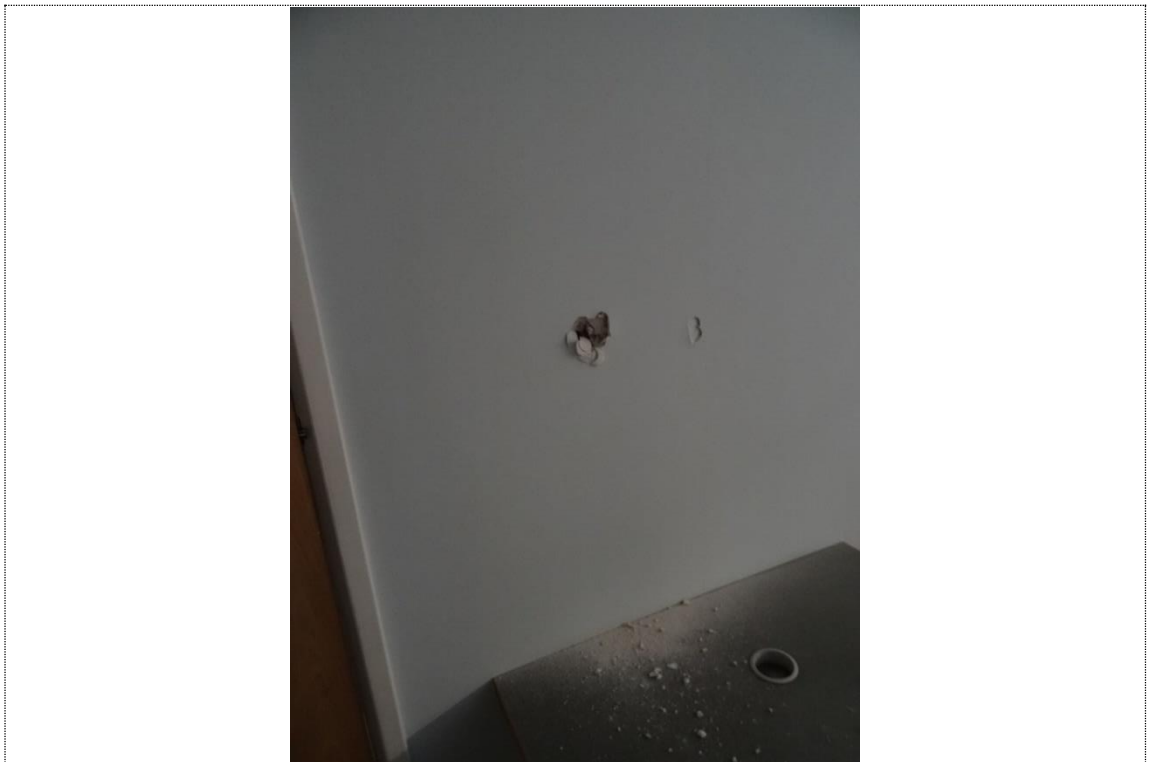
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Photograph:

81



Photograph:

82



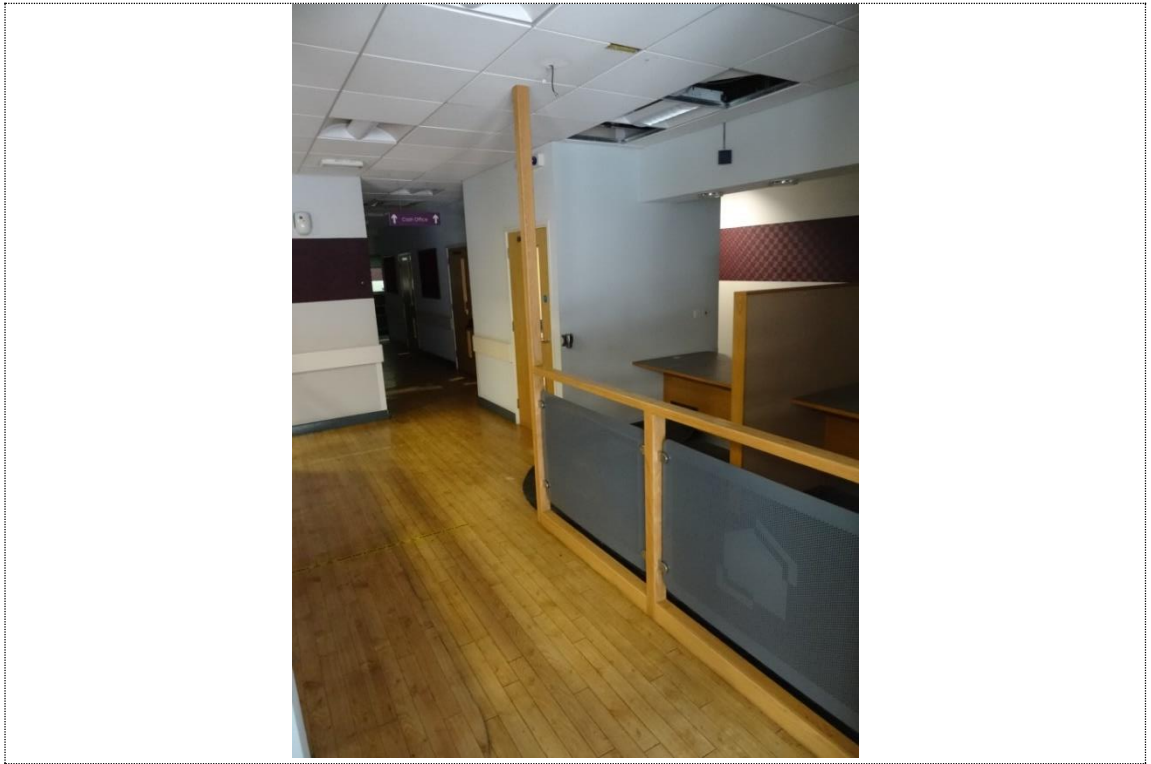
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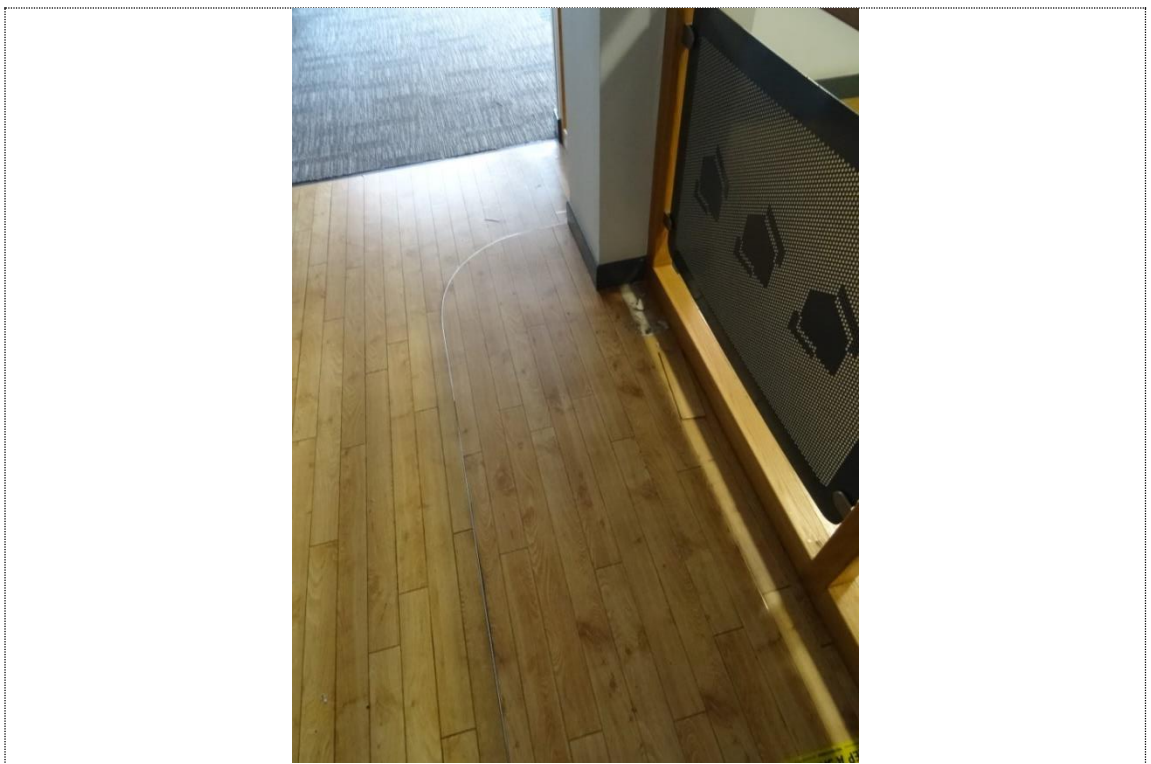
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Photograph:

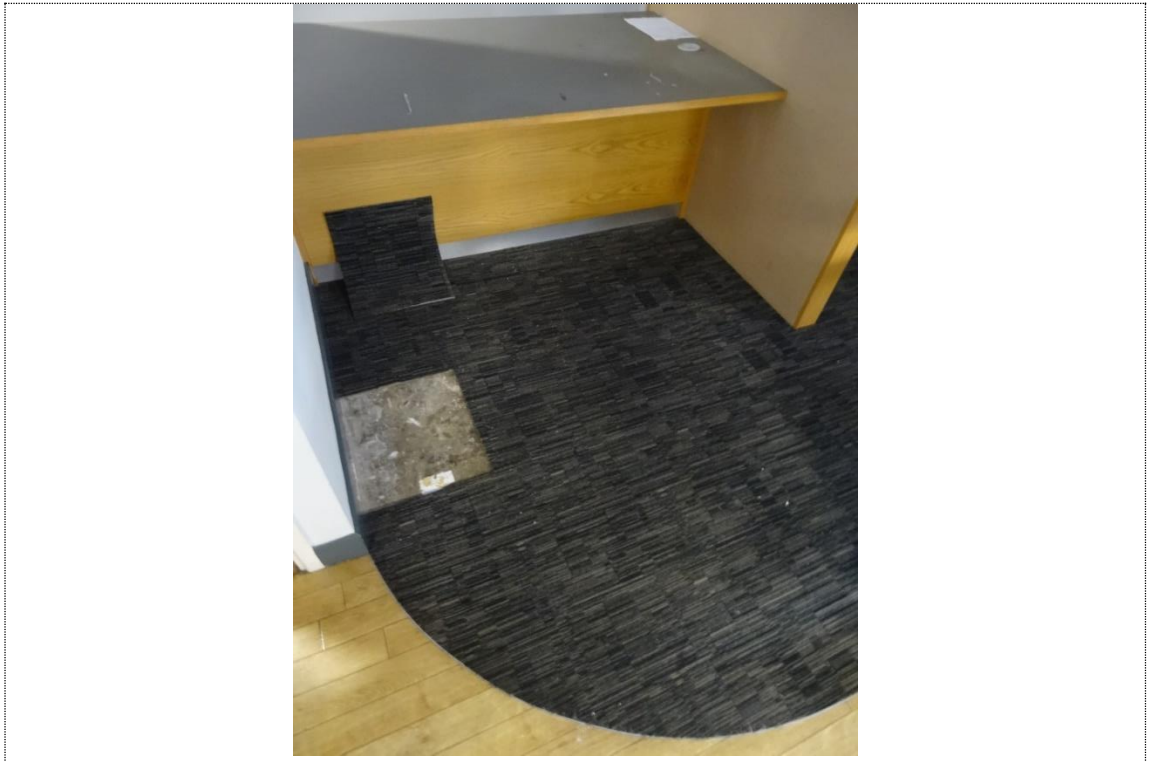
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Photograph:

86





Photograph:

87



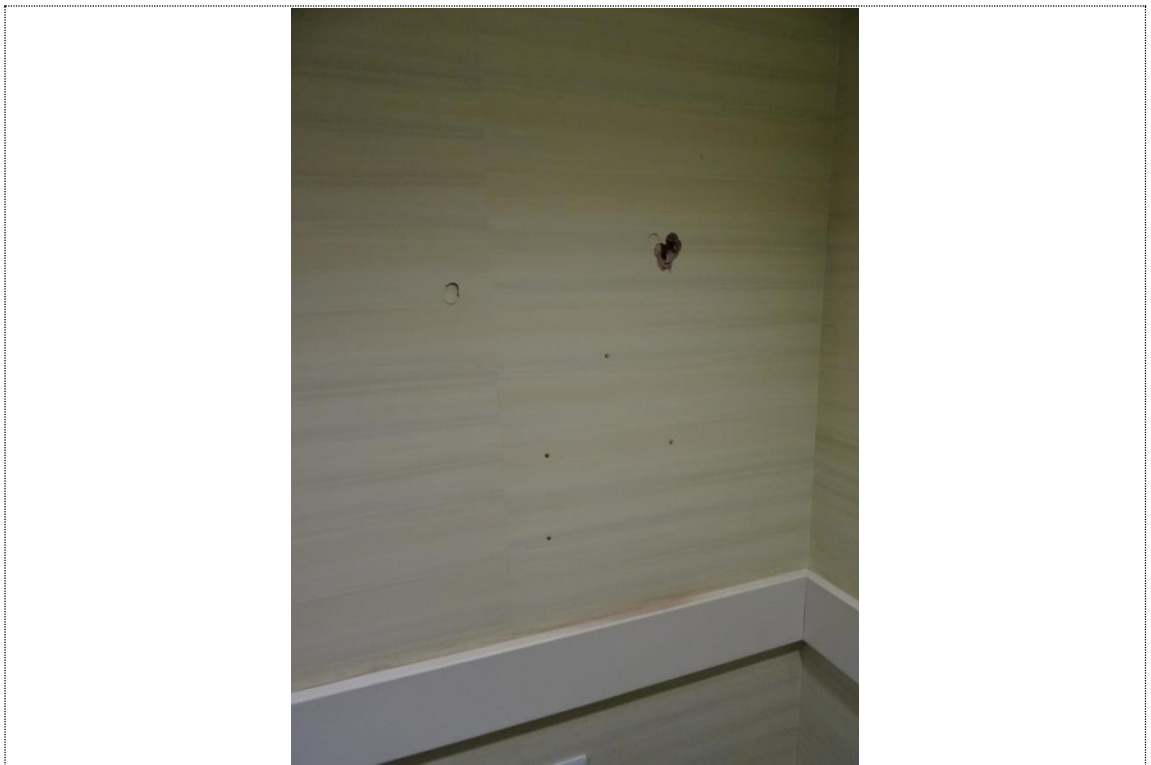
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88



Photograph:

89



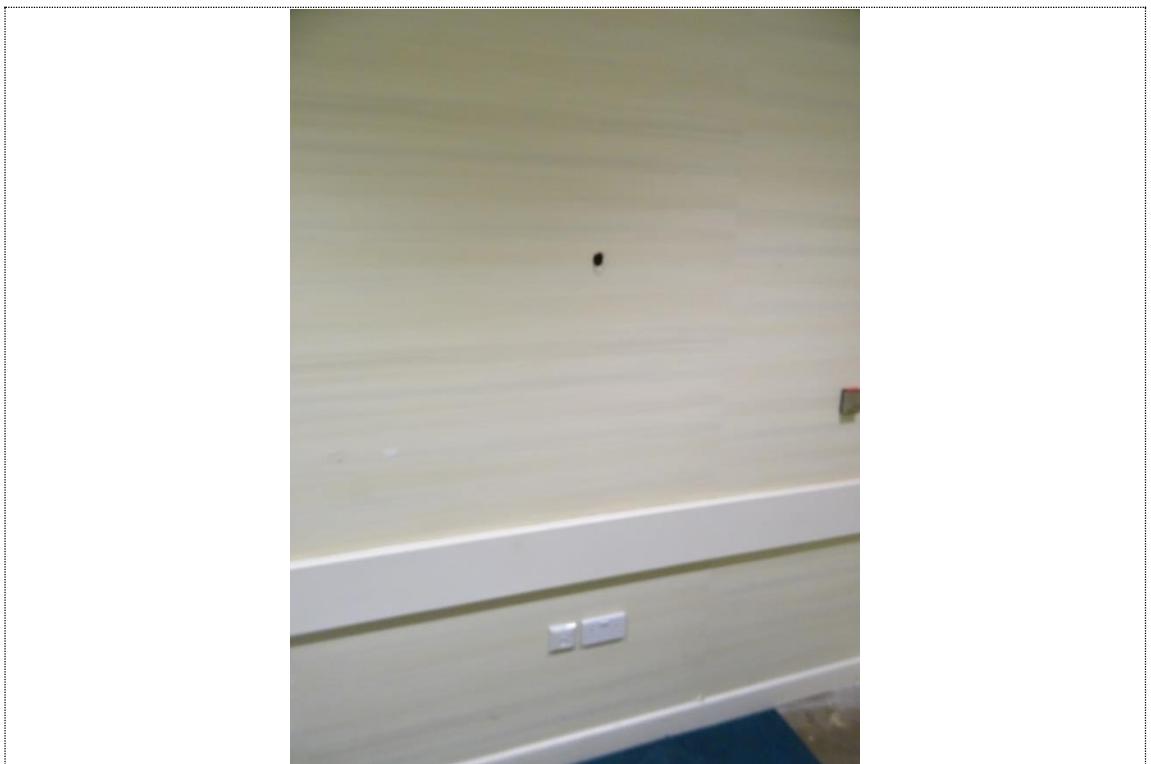
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90



Photograph:

91



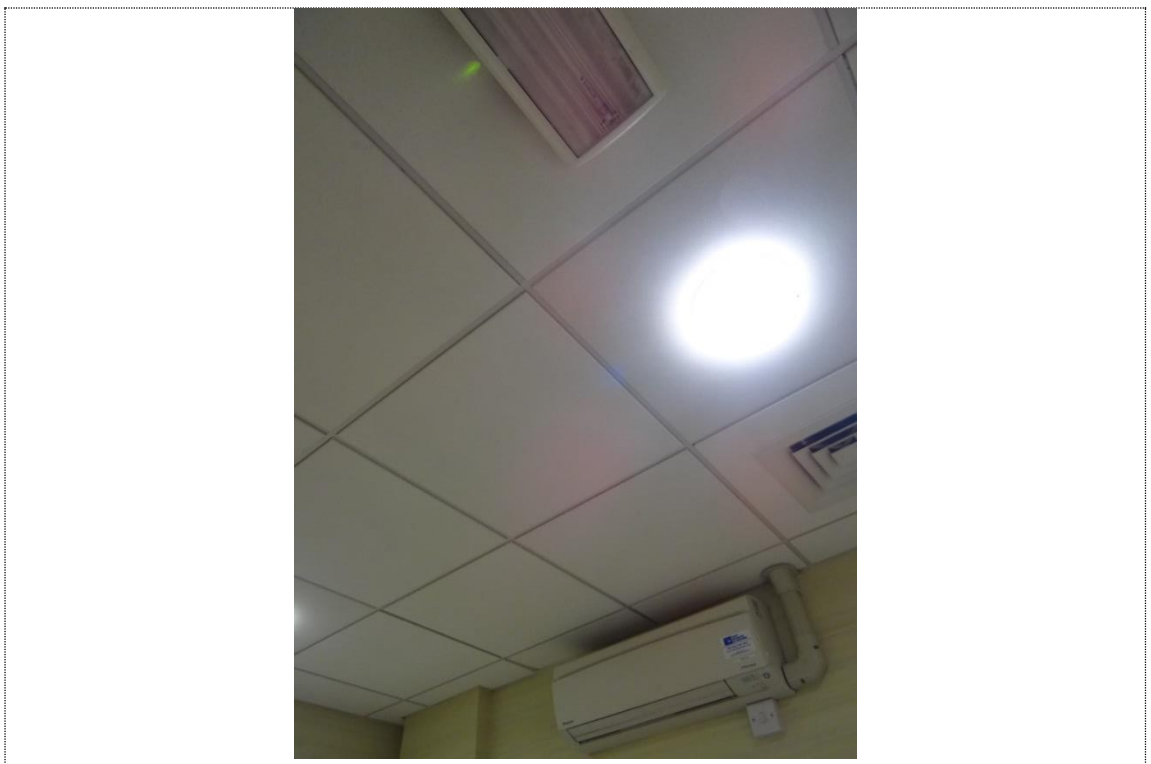
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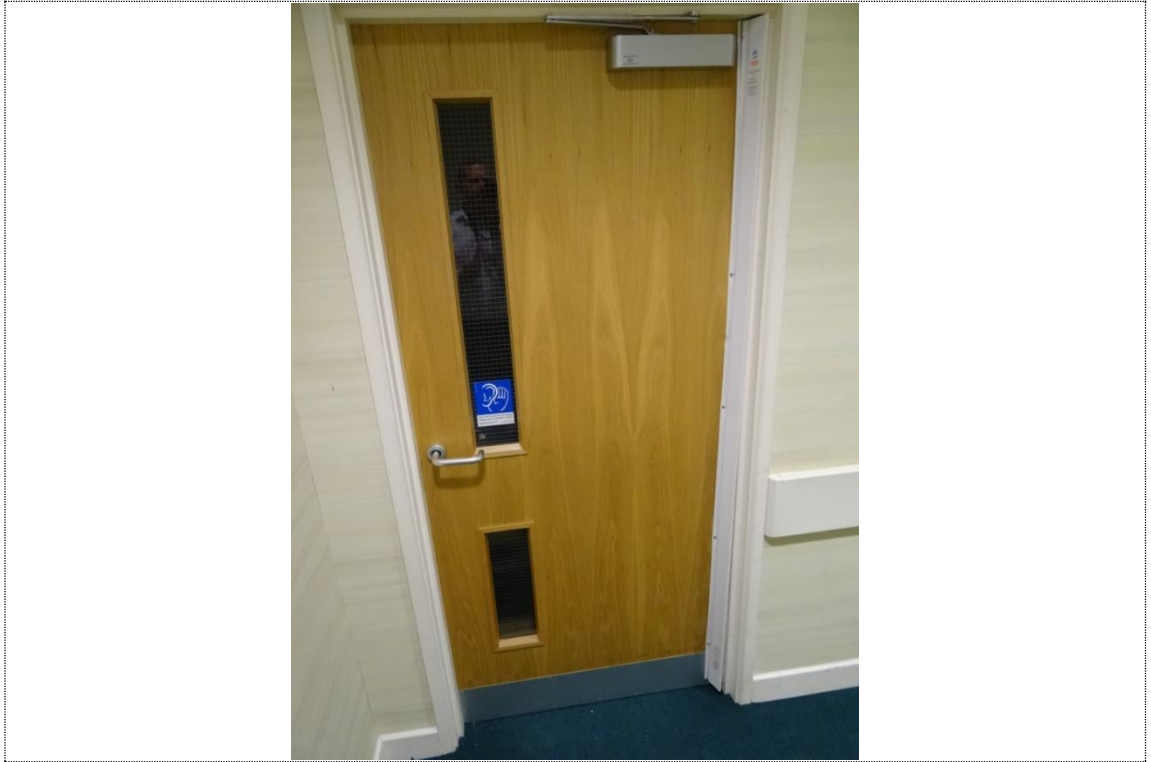
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93



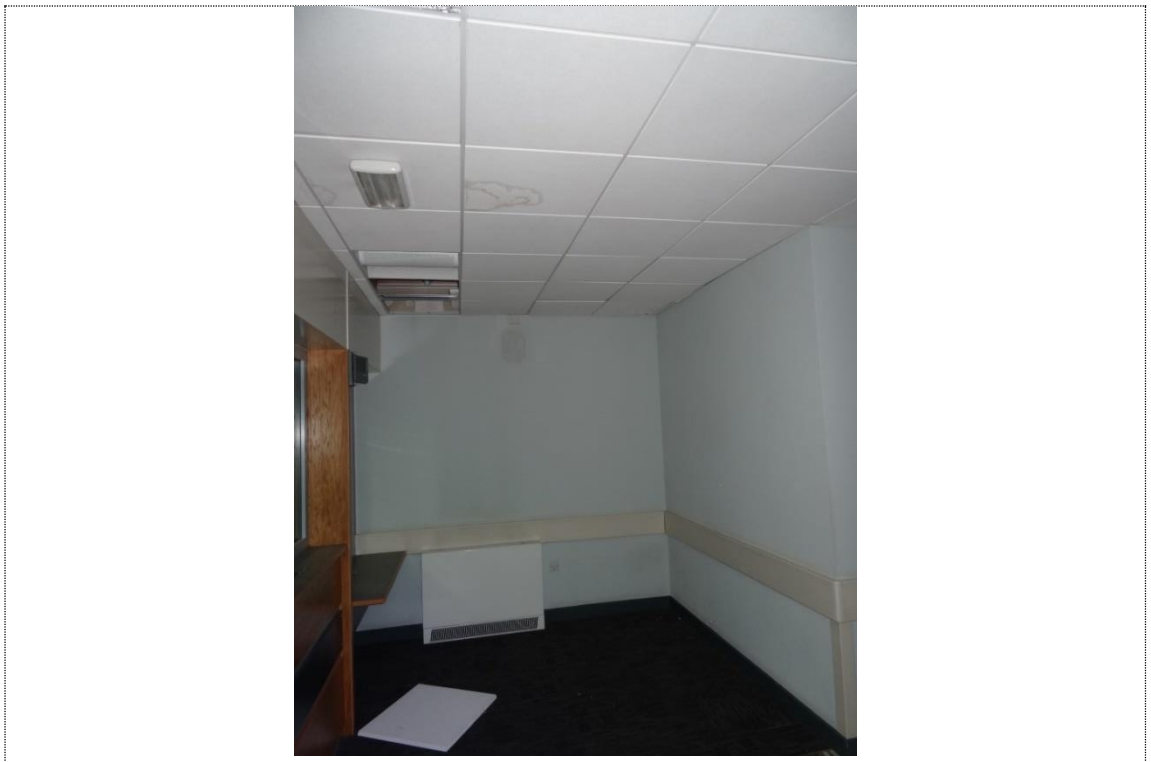
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94



Photograph:

95



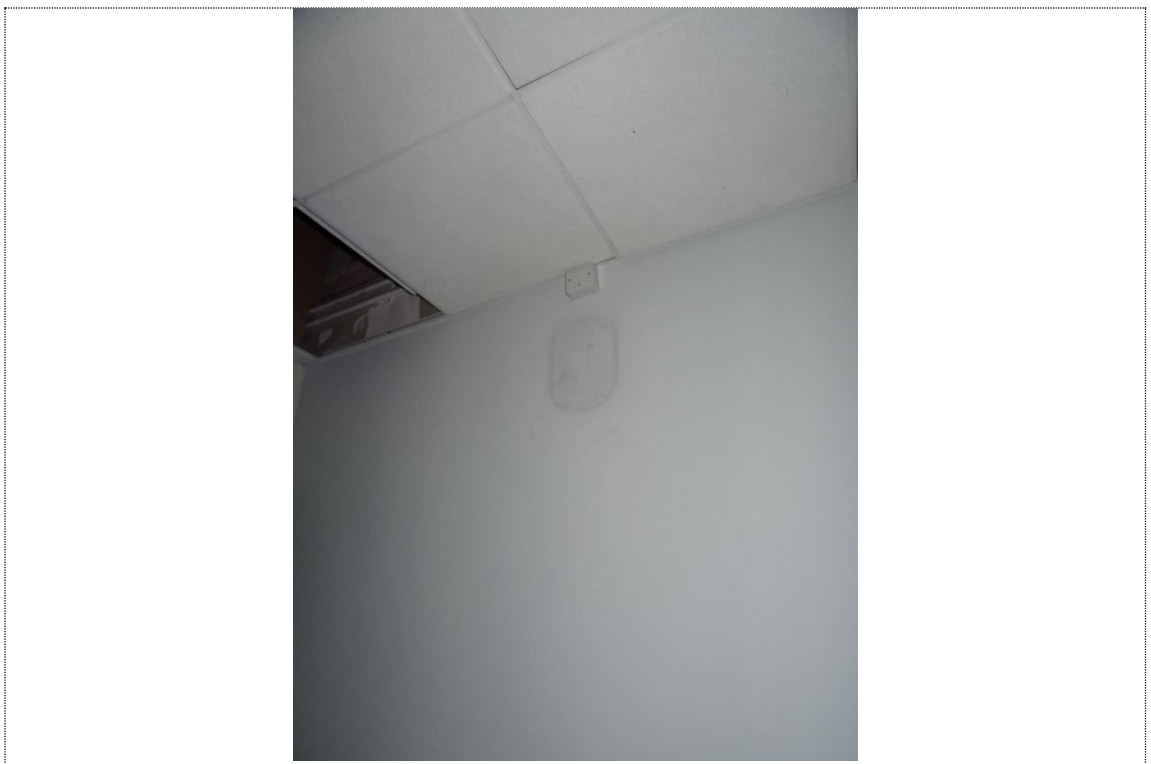
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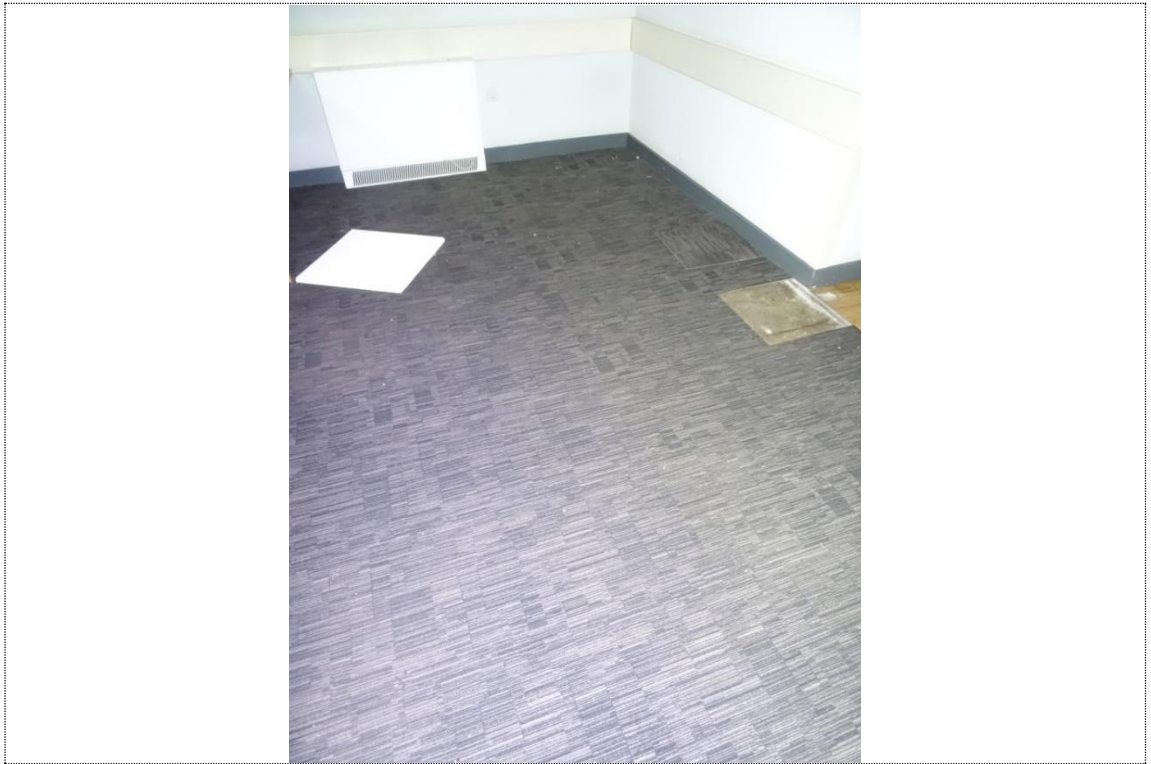
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Photograph:

98



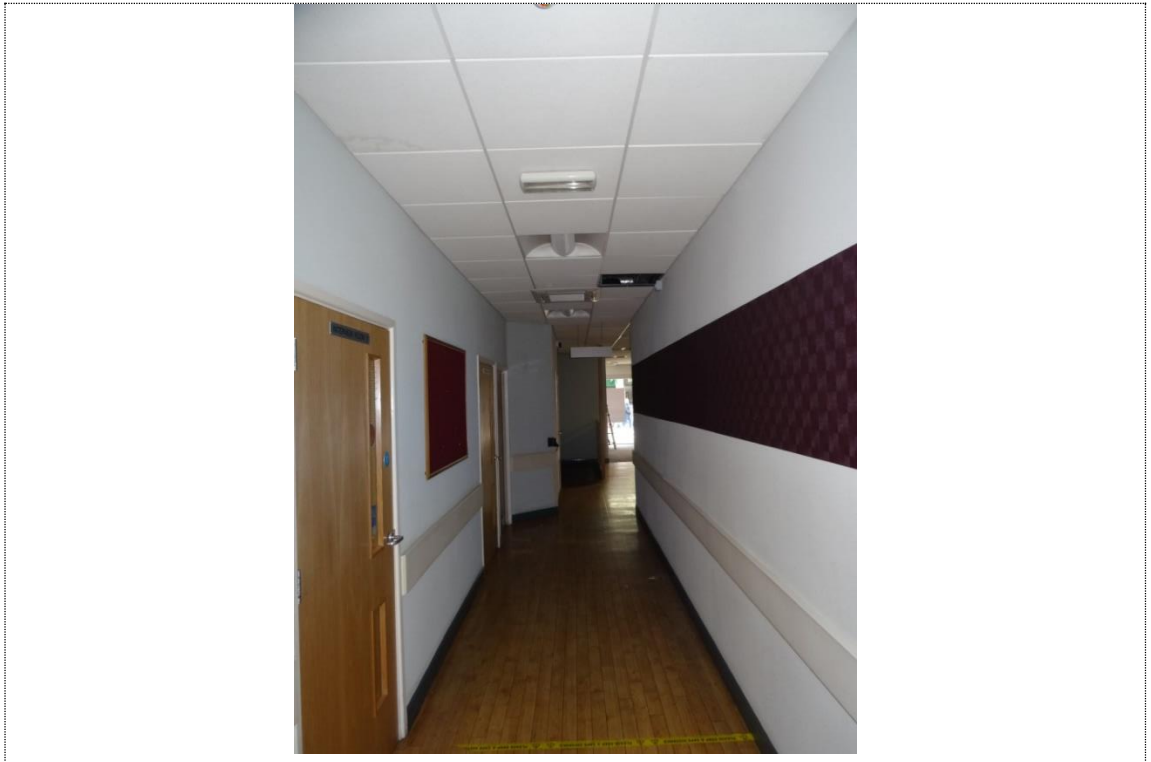
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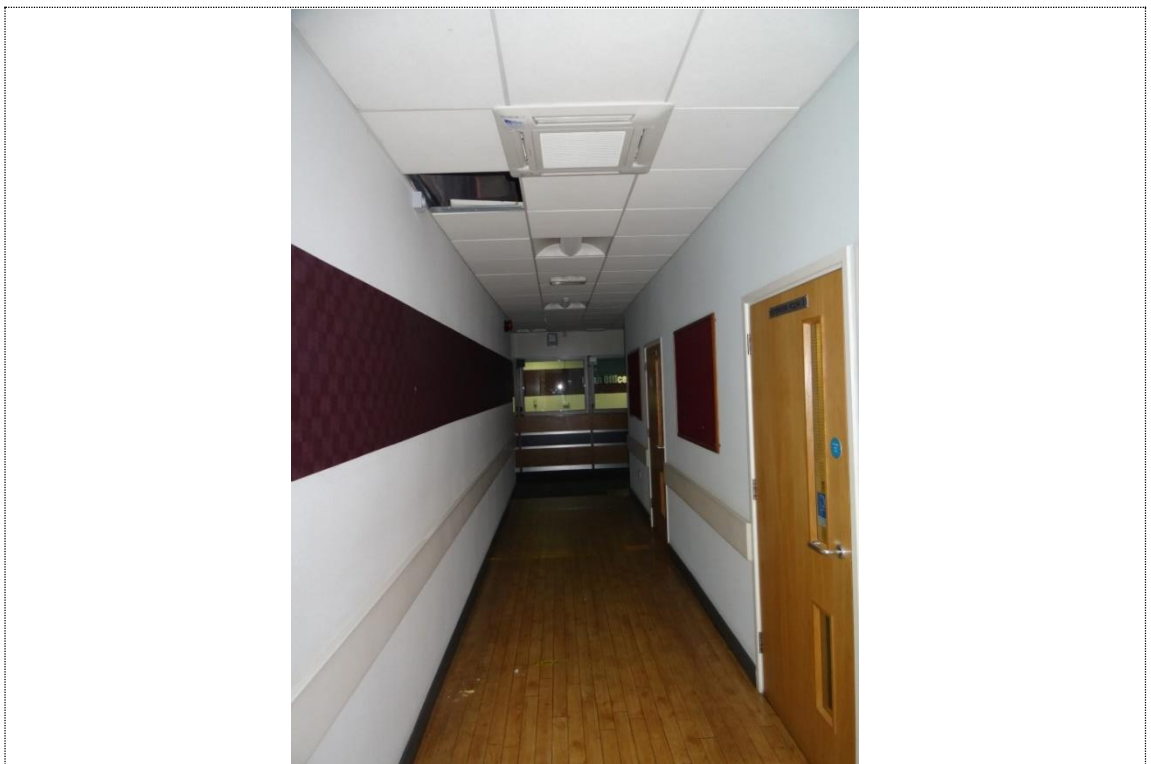
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Photograph:

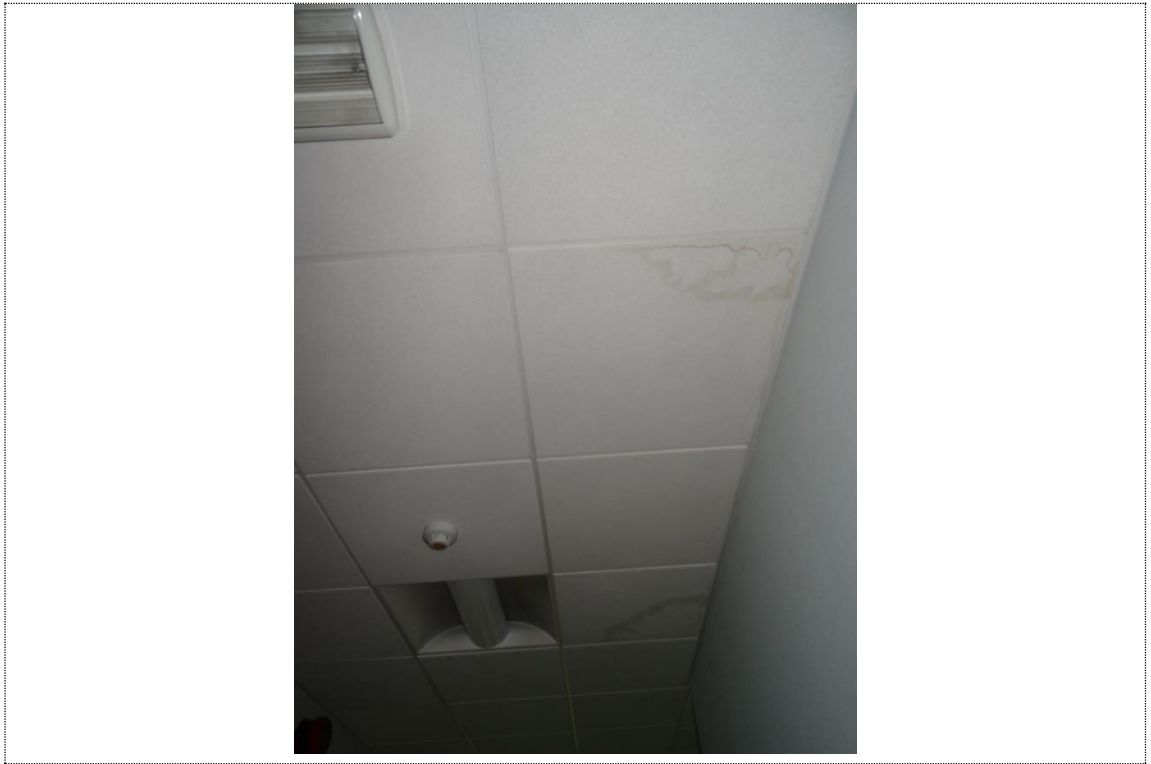
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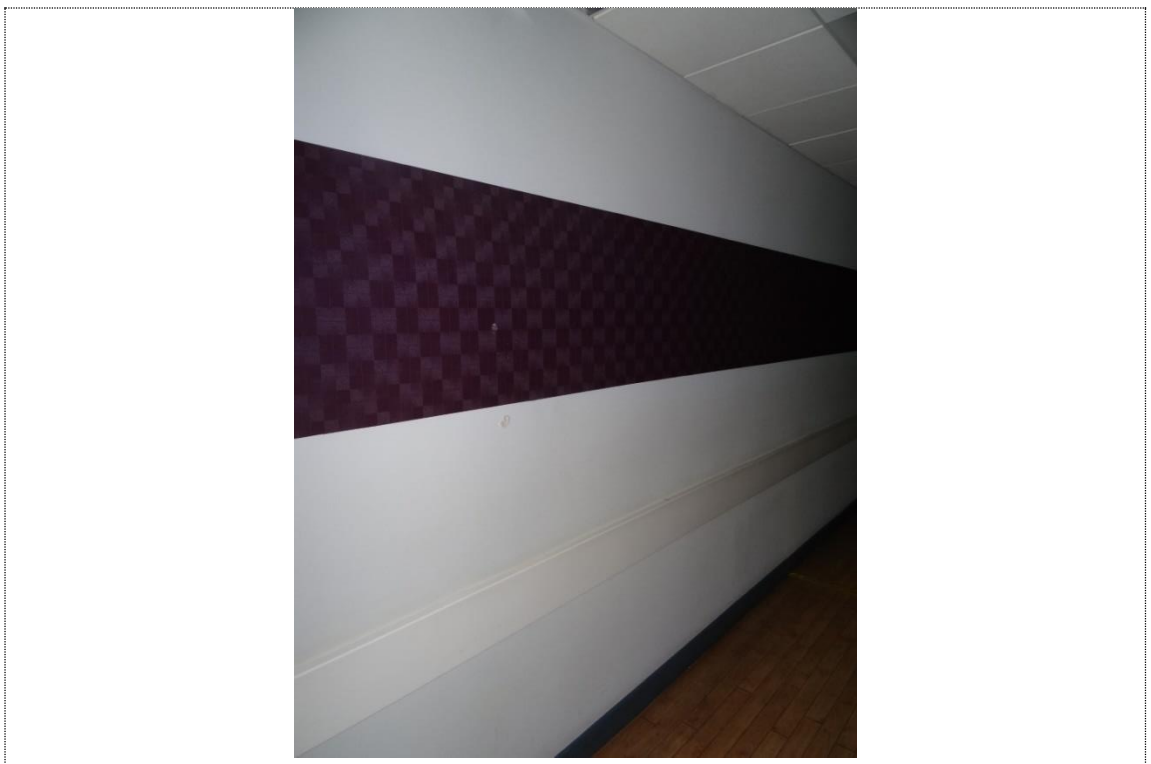
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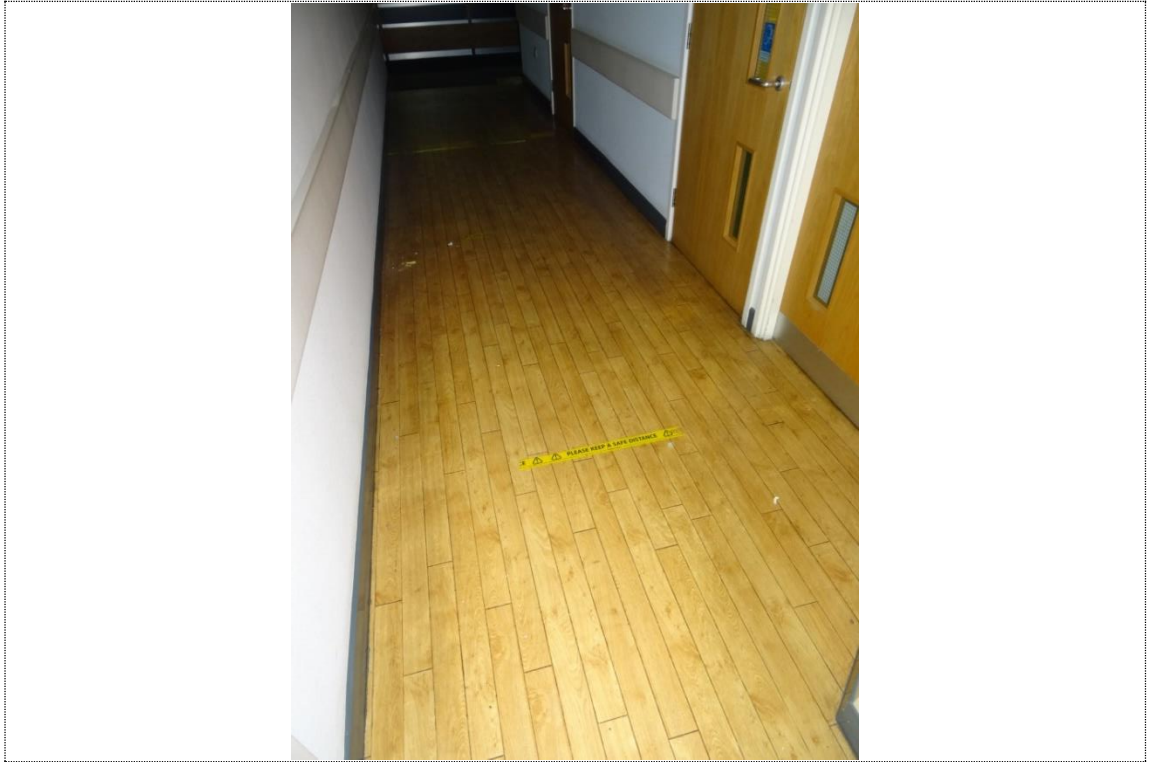
Photograph:

103



Photograph:

104



|             |     |
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| Photograph: | 105 |
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|             |     |
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| Photograph: | 106 |
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Photograph:

107



Photograph:

108



|             |     |
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| Photograph: | 109 |
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| Photograph: | 110 |
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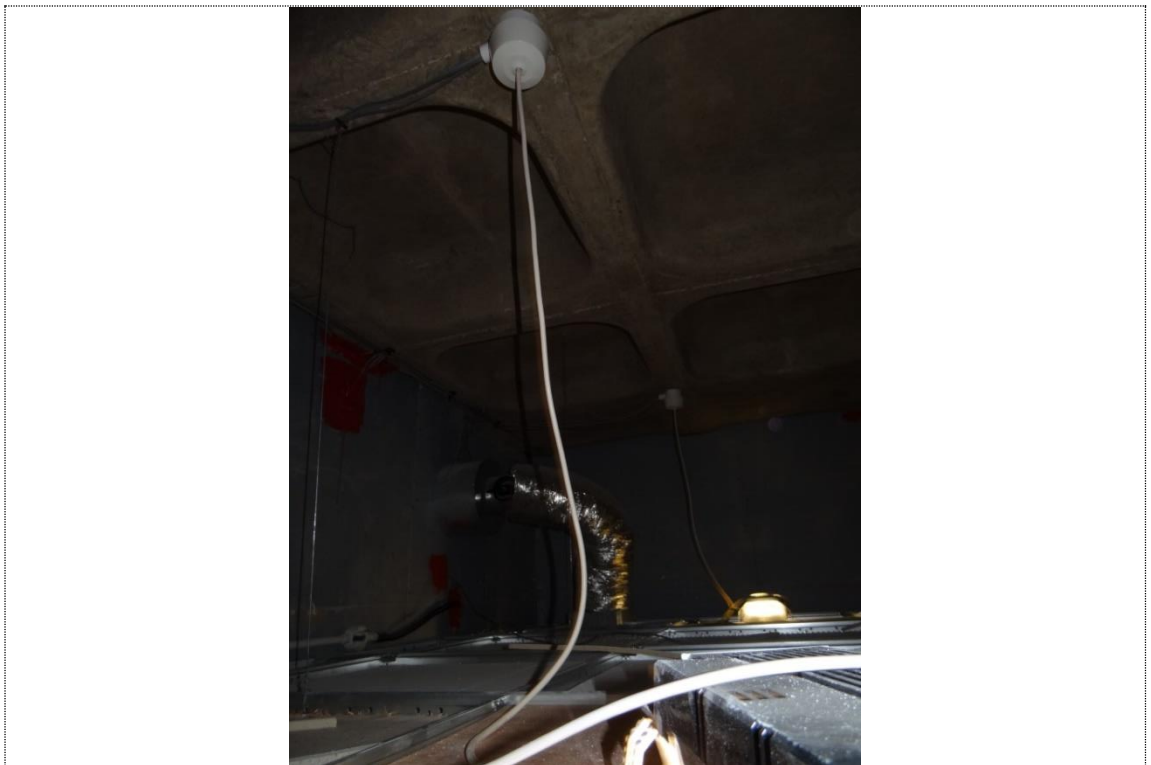
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| Photograph: | 112 |
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| Photograph: | 113 |
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| Photograph: | 114 |
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| Photograph: | 115 |
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