

Building Inspection Report

Relating to:

XXXXXX

XXXXXX

XXXXXX

XXXXXX

Report date: X XXX XXXX



Project preface

Client(s) name: XXXX

Client(s) address: XXXX

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View of the Front Elevation

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1. Terms and Conditions
2. Deleterious Materials

1 Introduction

1.1 Instructions

In accordance with instructions received from XXXX on XXXX we have carried out a Building Survey of the property known as XXXXX.

The inspection was carried out on XXXX. The weather at the time of the survey was overcast with rain.

All comments are based on visual inspection only and no opening up of areas was carried out. No below ground investigations have been carried out and no drainage survey has been undertaken.

1.2 Brief

We have been requested by the prospective purchaser to carry out a Building Survey of the above property.

1.3 Site inspection

Where the terms “right hand” or “left hand” are used, they assume that the reader is facing the front of the property with the main access door situated within the front elevation.

We can only make general comments on electrical circuits as detailed comments and inspections have to be carried out by an NIC EIC registered electrician. Also we can only make general comments on gas installations, as detailed comments and inspections have to be carried out by a Gas Safe Registered Engineer.

1.4 Terminology

Where the expressions immediate, short term, medium term, long term and very long term are used they generally mean the following:

Immediate:	within 1 year
Short Term:	within the next 1 to 3 years
Medium Term:	within the next 4 to 10 years
Long Term:	within 11 to 20 years
Very Long term:	over 20 years

Where relating to structural damage and crack widths the expressions negligible, very slight, slight, moderate, severe and very severe are used they generally mean the following:

Category 0	"negligible"	< 0.1mm
Category 1	"very slight"	0.1 - 2mm
Category 2	"slight"	>2 but < 5mm
Category 3	"moderate"	>5 but < 15mm
Category 4	"severe"	>15 but < 25mm
Category 5	"very severe"	>25 mm

Table 1. BRE Digest 251

Classification of damage to buildings based on crack widths.

2 General Description of Property

The property comprises of two industrial units (Unit 3 & Unit 4) located on XXXXXX. We understand that the combined areas of the units is 29,535 sq. feet.

Unit 3 comprises of a semi-detached warehouse building of steel portal frame construction. The roof comprises of a factory finished profile metal sheet covered pitched roof incorporating GRP rooflights with preformed metal eaves and valley gutters dispersing via plastic downpipes. The external elevations are a combination of facing brickwork and profile metal cladding. Fenestrations take the form of solid timber external fire exit doors and metal roller shutter doors.

Internally Unit 3 comprises of a main warehouse space with two subdivided offices, WC facilities and kitchen to the front. The ceiling within the main warehouse area is formed with the underside of the roof sheets. The walls to the perimeter of the warehouse are formed with a combination of the internal face of the profile metal cladding, painted blockwork and painted brickwork with a painted concrete floor.

The office areas are formed with lay-in grid suspended ceilings, stud partition walls with painted plastered finishes and a carpet tile floor covering.

The WC facilities and kitchen comprise of painted plastered ceilings, solid partition walls with painted and plastered finishes and vinyl tile floor coverings.

The property benefits from mains water and electricity services. We understand that the drainage is connected to the main public sewer.

Unit 4

Unit 4 comprises of a detached industrial building of steel portal frame construction with three storey office of traditional masonry construction to the front. The roof to the industrial section of the building comprises of a corrugated asbestos sheet covered pitch roof incorporating GRP rooflights with what appear to be asbestos cement eaves gutters dispersing via plastic downpipes. The external elevations are a facing brickwork and corrugated asbestos sheet cladding. Fenestrations take the form of glazed and solid timber external exit doors and metal roller shutter doors with timber framed single glazed and double glazed PVCu windows.

Internally Unit 4 comprises of a main industrial space to the rear with three storey offices to the front. The ceiling within the industrial space is formed with the lining boards to the underside of the roof. The walls to the perimeter are formed with a combination of the internal face of the external cladding and brickwork with a painted concrete floor.

The office areas are formed with painted plastered ceilings, a combination of stud partition and solid partition walls with plaster finishes, gloss painted internal joinery and internal doors a combination of carpet tile, ceramic tile and vinyl tile floor coverings.

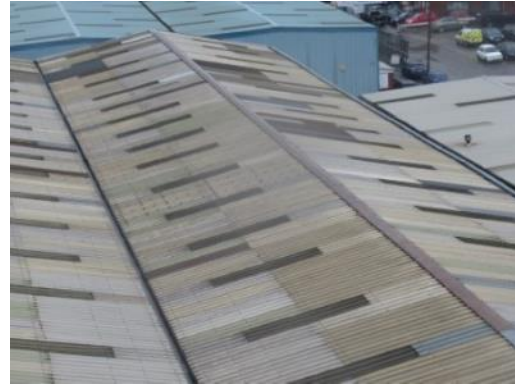
The property benefits from mains water and electricity services. We understand that the drainage is connected to the main public sewer.

3 General Condition of Property

3.1 External Condition

Unit 3

Roof



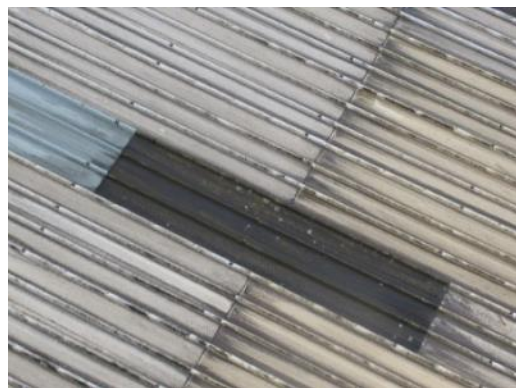
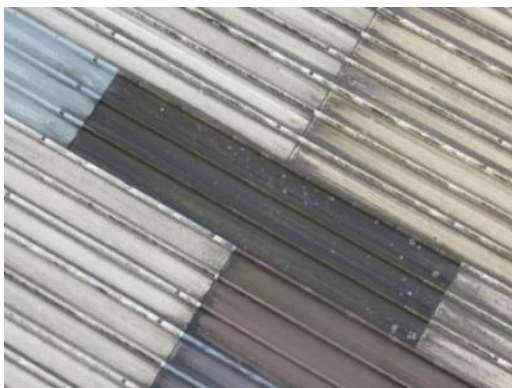
The factory finished profile metal sheet roof covering generally appears to be in satisfactory condition however areas of cut edge corrosion are evident to the roof sheets particularly towards the rear of the roof.



We recommend that works are undertaken in the immediate term to treat the cut edges of the roof sheets with a suitable proprietary repair system in order to address this and as a precaution against further deterioration and moisture ingress.



The preformed metal ridge flashing is heavily corroded throughout its length with the fillers present to its underside and the junction with the roof covering displaced in areas. We recommend that the ridge flashing is replaced in the immediate term together with the associated fillers.





The GRP plastic rooflights present to the roof appear to be in a serviceable condition however are heavily soiled and showing signs of solar degradation. We anticipate that the rooflights will require replacement in the short to medium term.



The preformed metal valley gutter at the junction between Unit 3 and Unit 2 and the eaves gutter to the right hand elevation appeared to be in a serviceable condition however are heavily soiled and blocked and require clearing in the immediate term. We anticipate relining of the gutter areas being required in the short term.

Where visible the plastic downpipes serving the gutters appear to be in a serviceable condition however leaking joints are evident. We recommend works are undertaken in the immediate term to reseal joints where necessary to the downpipe.

The bottom section of the downpipe to the rear of the unit is missing with the downpipe dispersion directly onto the adjacent ground. We recommend works are undertaken in the immediate term to replace the missing section of downpipe and connect this directly into the below ground drainage.

Front Elevation



The brickwork present to the front elevation generally appears to be in satisfactory condition however areas of deteriorated mortar pointing are evident particularly to the left hand side of the elevation and adjacent to the downpipes and to the right hand side of the elevation. Where mortar pointing has deteriorated this provides a potential for moisture ingress into the property and as such we recommend these areas are repointed in the immediate term.



An area of very slight stepped cracking is evident to the mortar joint of brickwork at high level to the right hand side of the elevation. Although the cracking does not appear to be significant at present it suggests that a degree of slight structural movement has occurred at this location. We are unable to confirm from a visual inspection whether the movement is historic or ongoing and as such recommend the area is repaired and repointed in the immediate term and then visually monitored as a precaution.

The external face of the front elevation appears to form the front boundary with no external areas present. We recommend that enquiries are made with your solicitors in order to confirm the location, maintenance responsibility and liability regarding all boundaries to the property.

Right Hand Elevation



The brickwork present to the front of the left hand elevation generally appears to be in satisfactory condition however areas of deteriorated mortar pointing are evident. Where

mortar pointing has deteriorated we recommend these areas are repointed in the immediate term.



The painted profile metal cladding present to the right hand elevation appears to be in a serviceable condition however the painted coatings are deteriorating throughout with areas of minor impact damage also noted.



We recommend that the cladding is redecorated in the short term. Where minor impact damage is present to the cladding this does not appear to be significant however the damaged sheets would benefit from replacement in the short term.



A section of timber boarding is present towards the rear of the elevation and we assume this has been installed where significant damage is present to the underlying profile metal cladding. We recommend that the timber boarding to this location is removed with the underlying cladding sheets replaced as necessary.



Corrosion is evident to the metal drip flashing present at the base of the cladding. We recommend that works are undertaken in the immediate term to repair the trim including replacement of severely corroded sections where necessary in the immediate to short term.



The preformed metal surrounds to the fire exit doors are damaged and require replacement in the immediate term.



The preformed metal closure flashing present at the junction between the brickwork to the rear of the roller shutter door and the adjacent profile metal cladding is poorly fitted and sealed with expanding foam. Although this does not appear to be causing any significant problems at present the flashing would benefit from replacement.



The metal roller shutter door present to the elevation generally appears to be in satisfactory condition.

The solid timber and metal fire exit doors generally appear to be in satisfactory condition however would benefit from redecoration.



The in situ concrete present at low level towards the rear of the elevation generally appears to be in satisfactory condition with no significant defects noted. We note that only a limited view is possible of the rear of the elevation due to the extensive vegetation growth and waste present adjacent to this area.

Rear Elevation

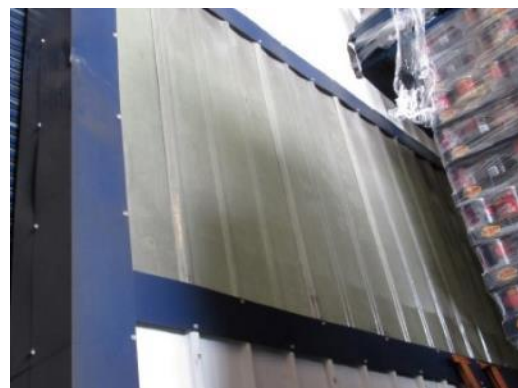




The painted profile metal cladding present to the rear elevation appears to be in a serviceable condition however the painted coatings are deteriorating. Where areas of minor impact damage are present to the profile metal cladding these does not appear to be significant.



We recommend that the cladding is redecorated in the short term.



The translucent GRP clad sections to the rear elevation generally appear to be in satisfactory condition.



We note that expandable foam has been utilised at the junction between the bottom edge of the cladding and the below timber batten. Although this does not appear to be causing any significant problems at present the junction would benefit from remaking with a suitable termination flashing.



The solid timber external door to the rear elevation generally appears to be in satisfactory condition.



The metal roller shutter door to the elevation generally appears to be in satisfactory condition.



Where areas of minor impact damage are present to the preformed metal flashings to the perimeter of the roller shutter doors they do not appear to be significant.



A steel portal framed extension which is open to its rear has been constructed to the rear of the property. With regards to the construction of the extension we recommend that enquiries are made with your solicitors in order to confirm that the relevant Building Regulations and Planning Consents are in place.

The underside of the composite roof panels which form the ceiling of the extension generally appeared to be in satisfactory condition.

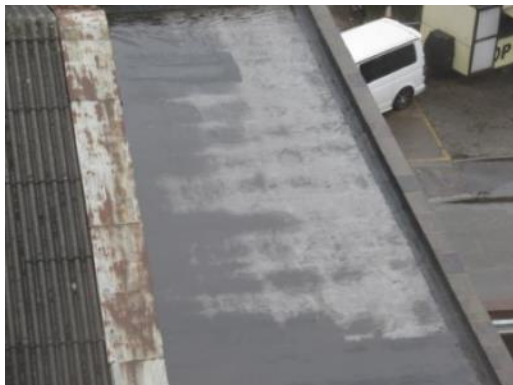
The internal face of the profile metal cladding to the walls generally appears to be in satisfactory condition.



Where areas of impact damage are evident to the cladding to the rear of the extension this does not appear to be significant however the damaged sections would benefit from replacement.

The painted blockwork present at low level to the walls generally appears to be in satisfactory condition.

Where visible the steel portal framed structure generally appears to be in satisfactory condition.

Unit 4**Flat Roof**

The bituminous finish present to the flat roof to the front of Unit 4 appears to be in poor condition with areas of blistering noted to its surface, previous patch repairs and the junction between the mineral felt to the upstands and the main section of the roof are poorly formed and deteriorated. In addition there is evidence of water ingress to the second floor office areas particularly to the right hand office and adjacent store room and adjacent bathroom. We recommend that works are undertaken in the immediate term to re-cover the flat roof.

Main Roof



The corrugated asbestos sheet covering present to the main pitched roof generally appears to be in satisfactory condition with no significant defects noted.

Asbestos is hazardous to health and specialist advice should be obtained before any works are undertaken to this material. This type of material will only release asbestos fibres, if present, if it is drilled, sanded or damaged. The presence of asbestos can only be confirmed by specific testing which is outside the scope of this report. We strongly presume that this material contains asbestos and should be treated as such until proved otherwise.



Where GRP rooflights are incorporated into the roof they appear to be in a serviceable condition however are heavily soiled and showing signs of solar degradation. The rooflights would benefit from replacement in the short term.



The eaves gutters serving the roof are poorly maintained, heavily soiled and blocked throughout their length with vegetation growth and leaking joints noted. We recommend that general repairs and maintenance are undertaken to the gutters in the immediate term including clearing of gutters removal of vegetation growth and resealing of defective joints. We would also recommend that the gutters are lined with a suitable proprietary lining system.



The plastic downpipes serving the eaves gutters appear to be in a serviceable condition however there is evidence of leaking joints present. We recommend that works are undertaken in the immediate term to reseal defective joints to the downpipe.

Where the downpipes are connected at ground level to the below ground drainage the junctions are deteriorated and damaged in areas and require repair.

Front Elevation





The brickwork present to the front elevation of Unit 4 generally appears to be in satisfactory condition however areas of deteriorated mortar pointing together with a number of spalled and defective bricks are evident particularly at low level.



The aforementioned provides a potential for moisture ingress into the property and as such we recommend that works are undertaken in the immediate term to repoint areas of deteriorated mortar pointing and cut out and replace spalled and defective brickwork.





Areas of very slight to slight cracking are evident to the brickwork above the second first floor window from the left hand side of the elevation and above the ground floor right hand window with very slight cracking also evident above the first floor right hand window and main entrance door. The cracking at these locations suggests that a degree of structural movement has been experienced however we are unable to confirm from visual inspection whether this is historic or ongoing. Where cracking is present to the brickwork we recommend the areas are repaired and repointed in the immediate term and then visually monitored as a precaution.

The pattern of cracking suggests that the movement may be as a result of insufficient or deterioration of the lintel support above the openings. We recommend that further investigation works are undertaken in order to confirm that suitable lintels are present above the opening. If necessary new lintels may require installation.

We note that a damp proof course is evident at low level to the front elevation.



The uPVC framed double glazed windows generally appear to be in satisfactory condition however a number of failed double glazed units are evident with condensation present within the units. We recommend works are undertaken in the immediate term to replace failed double glazed units where present.



The timber framed single glazed windows are generally in poor condition with decorative paint finishes deteriorated and timber decay evident to the frame. We recommend that the timber framed windows are replaced in the immediate term.



The glazed timber entrance doors and adjacent glazed screen appeared to be in a serviceable condition however decorative paint finishes are deteriorated with areas of minor timber decay also evident. We recommend that general repairs and redecoration are undertaken to the doors and screen in the immediate term.

We are unable to confirm from a visual inspection whether the glazing to the doors and screen is safety glass. Where glazing is provided at critical locations within doors and adjacent the doors safety glass should be present. As such we recommend the glazing is tested to confirm this and replaced as necessary.



A metal security shutter is present to the main entrance. We recommend that this is checked to confirm it operates correctly.

Right Hand Elevation



The brickwork present to the right hand elevation generally appears to be in satisfactory condition however areas of very slight to slight cracking are evident throughout its length.



Where cracking is present to the elevation this suggests that a degree of structural movement has been experienced however we are unable to confirm from a visual inspection whether this is historic or ongoing. Where cracking is present we recommend that the areas are repaired and repointed in the immediate term and visually monitored as a precaution.

We note that defects to below ground drainage are a potential cause of structural movement. As such we recommend that a CCTV survey is undertaken to the below ground drainage in the immediate term to confirm its condition. Where repairs are identified these should be carried out.

An extent of the cracking may also be as a result of thermal expansion with the brickwork with no expansion joints present within the elevation. We recommend that suitable expansion joints are installed to the brickwork at 10 to 12 m intervals in order to address this.



An area of damaged brickwork is present to the front of the roller shutter door to the rear of the elevation. Where the brickwork is damaged this requires repair with defective bricks cut out and replaced.



The corrugated sheet cladding present to the right hand elevation generally appears to be in satisfactory condition with no significant defects noted. Where areas of minor damage

are present to the cladding they do not appear to be significant. We consider it likely that the cladding is an asbestos containing material.



The metal external doors to the right hand elevation appear to be in a serviceable condition however decorative paint finishes are deteriorated with corrosion also present to the surface. We recommend that general repairs and redecoration are undertaken to the doors in the immediate term.



The metal roller shutter door present to the rear elevation generally appears to be in satisfactory condition.



An external metal fire escape staircase is present towards the front of the elevation. The staircase is generally poorly maintained with the painted finish deteriorated and corrosion evident throughout. We recommend that general repairs and redecoration are undertaken to the staircase in the immediate term. Where severely corroded sections are present they will require replacement.

Left Hand Elevation





The brickwork present to the left hand elevation generally appears to be in satisfactory condition however areas of deteriorated mortar pointing are evident particularly at low level along with areas of very slight cracking. Where mortar pointing has deteriorated we recommend these areas are repointed in the immediate term



Where cracking is present to the brickwork this suggests that a degree of structural movement has been experienced although we are unable to confirm from visual inspection whether this is historic or ongoing. Defects to below ground drainage are a potential cause for structural movement and we refer you to our previous comments regarding carrying out a CCTV survey.

Following the aforementioned the areas of cracking to the brickwork should be repaired and repointed and then visually monitored as a precaution.

As noted to the right hand elevation an extent of the cracking may also be as a result of thermal expansion with the brickwork with no expansion joints present within the elevation. We recommend that suitable expansion joints are installed to the brickwork at 10 to 12 m intervals in order to address this.



The brickwork present to the external elevation to the single storey extension between Unit 3 and 4 generally appears to be in satisfactory condition.





The corrugated sheet cladding present to the left hand elevation generally appears to be in satisfactory condition with no significant defects noted. Where areas of minor damage are present to the cladding they do not appear to be significant however would benefit from repair in the short term. We note the cladding appears to be of an asbestos containing material. Please refer to our previous comments regarding asbestos.



Where a redundant flue penetration has been removed and blocked up to the elevation the damaged sheet is still present and this would benefit from replacement.

The translucent roof sheets present to the upper section of the elevation generally appear to be in satisfactory condition however section of damage is present towards the rear of the elevation. We recommend the damaged section is replaced in the immediate term.



The flat roof over the single storey extension between Unit 3 and 4 where visible appears to be deteriorating although we note no evidence of current water ingress internally. We anticipate the roof requiring re-covering in the short term.

The timber fascias are generally deteriorated and would benefit from replacement.

Rear Elevation





The brickwork present to the rear elevation generally appears to be in satisfactory condition however a number of isolated, spalled and defective bricks are evident. Where spalled and defective brickwork is present this would benefit from cutting out and replacement.



The corrugated sheet cladding present to the rear elevation generally appears to be in satisfactory condition however areas of damage are present particularly to the rear right hand corner and towards the centre of the elevation.



Where damaged cladding is present these areas would benefit from replacement. As noted to the previous elevations the cladding appears to be of an asbestos containing material and we refer you to our previous comments regarding this.

External Areas

The external areas to the property appear to comprise of a parking area to the front with loading bay to the rear of Unit 4. We recommend that enquiries are made with your solicitor in order to confirm the exact location, maintenance responsibility and liability for all boundaries to the property.

3.2 Internal Condition

Unit 3

Warehouse Area

Inspection of the warehouse area is limited due to the racking and stock present.



Where visible the underside of the composite roof covering which forms the ceiling within the warehouse generally appears to be in satisfactory condition.

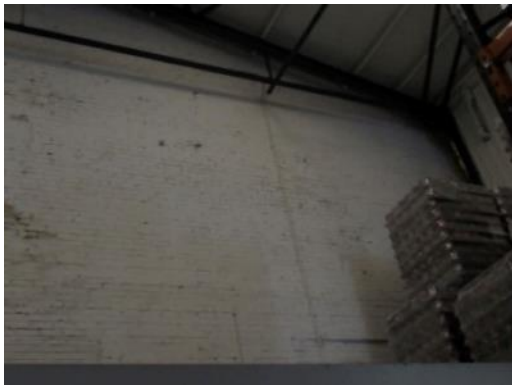
Where visible the steel portal framed structure generally appears to be in satisfactory condition with no significant defects or distortion noted.



The internal face of the external cladding present to the walls generally appears to be in satisfactory condition with no significant defects noted. Where areas of staining are present to the cladding particularly to the right hand elevation this appears to be as a result of leaks from the above rainwater goods. Please refer to our previous comments within the external condition section of the report regarding the rainwater goods.



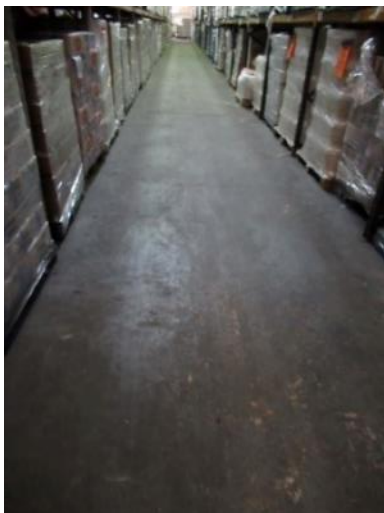
The painted blockwork present to the internal face of the external walls generally appears to be in satisfactory condition with no significant defects noted.



The brickwork present to the internal face of the front elevation appears to be in a serviceable condition however areas of soiling and staining, deteriorated mortar pointing and very slight cracking are evident.



The cracking present to the brickwork suggests that a degree of slight structural movement has occurred to these locations although does not appear to be significant at present. We are unable to confirm from a visual inspection whether the movement is historic or ongoing and as such we recommend the areas are repaired and repointed in the immediate term and then visually monitored as a precaution. The brickwork would also benefit from repointing areas of deteriorated mortar pointing and redecoration.



The painted concrete floor to the warehouse generally appears to be in satisfactory condition however the painted finishes are generally deteriorated with areas of cracking also evident to

its surface. The aforementioned does not appear to be significant however the floor would benefit from repair to areas of cracking and redecoration in the short term.



Extensive racking is present throughout the warehouse which we assume is the tenant's fittings. Following removal of the racking repairs and making good will be required to the floor where fixing bolts have been installed.

WC/Kitchen Block





The WC/kitchen block present to the front right hand corner of the warehouse comprises of a combination of painted brickwork and stud partition walls with a painted plastered ceiling, gloss painted internal joinery and internal door and a vinyl tile floor covering.

Vitreous china WCs and a wash hand basin are provided within the WC area. Kitchen base and wall units with an inset stainless steel sink are provided to the kitchen area.

The WC/kitchen block appears to be in a serviceable condition however is generally tired and worn throughout and would benefit from refurbishment and redecoration including replacement of the floor covering.

Offices





The offices to the front of the warehouse area comprise of stud partition walls with a painted plaster finish, a lay in grid suspended ceiling, gloss painted internal joinery and internal doors and carpet tile floor covering.

The office areas appear to be in a serviceable condition however are generally tired and worn and would benefit from general refurbishment, redecoration and replacement of the floor covering.

Unit 4

Second Floor Offices



The second floor office areas comprise of a painted papered ceiling with wall papered walls, gloss painted and varnished timber internal joinery and internal doors and sheet carpet floor coverings over a suspended timber floor.

Office areas generally appear to be in satisfactory condition with no significant defects noted however are in need of redecoration and replacement of floor coverings.



There is evidence of water ingress on the above flat roof within the right hand office with the paper finish removed to the majority of the ceiling and areas of hairline to very slight cracking and water staining present to the underlying plaster finish. Please refer to our comments within the external condition section of the report with regards to the flat roof. Following repairs to the flat roof the ceiling within the right hand office requires repair and redecoration.

Right Hand Corridor



The corridor area and adjacent store room comprise of painted plastered ceilings with painted plastered walls, gloss painted and varnished timber internal joinery and internal doors and a sheet carpet floor covering.

The areas generally appear to be in satisfactory condition however are in need of redecoration and replacement of the floor covering.



There is evidence of water ingress to the head of the fire escape door with cracking and deterioration of the plaster finishes noted at this location. Following repairs to the roof and external brickwork we recommend that the plaster finishes are repaired and replaced where affected and redecorated.

Where areas of very slight cracking are evident to the plaster finishes particularly to the front wall we consider this linked to the previously noted structural movement to the front elevation and refer you to our previous comments regarding this. Following the previously recommended works plaster finishes where affected require repair prior to redecoration.

Where areas of very slight cracking are present to the surface of the ceilings they do not appear to be significant however require repair prior to redecoration.



The fire exit door which leads onto the external metal fire escape staircase has been screw fixed closed and as such is not currently in use. We consider that the aforementioned contravenes Fire Regulations and as such recommend that the fire escape is put back into use with the door replaced in the immediate term including the installation of suitable ironmongery.

Bathroom



The bathroom comprises of a painted plastered ceiling with painted plastered walls incorporating ceramic tiling to the shower area and a splashback to the wash hand basin, gloss painted and varnished timber internal joinery and internal doors and a sheet carpet floor covering. A WC, hand mounted wash hand basin and shower cubicle with plastic shower tray, glazed screen and electrical shower are provided within the room.

The bathroom generally appears to be in satisfactory condition with no significant defects noted however would benefit from redecoration and replacement of the floor covering. The bathroom fittings are also noted to be dated and you may wish to consider their replacement with modern fittings.



Where very slight cracking is present to the surface of the ceiling this does not appear to be significant however requires repair prior to redecoration.

Water staining is present to the left hand side of the ceiling and also noted to the ceiling within the adjacent store room. Please refer to our previous comments regarding the flat roof within the external condition section of the report. Following repairs to the flat roof the ceiling should be repaired where affected and decorations made good.

Landing



Landing area comprises of a painted plastered ceiling with painted plastered walls, gloss painted and varnished timber internal joinery and internal door and a sheet carpet floor covering. The area generally appears to be in satisfactory condition with no significant defects noted however is in need of redecoration and replacement of the floor covering.



There is evidence of water ingress from the above flat roof to the ceiling with staining and deterioration of the plaster finishes noted. Please refer to our comments regarding repairs to the flat roof within the external condition section of the report. Following repairs to the roof the ceiling should be repaired and decoration made good.

Staircase



A timber staircase is provided giving access from the first floor to the second floor areas of the property. The staircase generally appears to be in satisfactory condition with no significant defects noted.

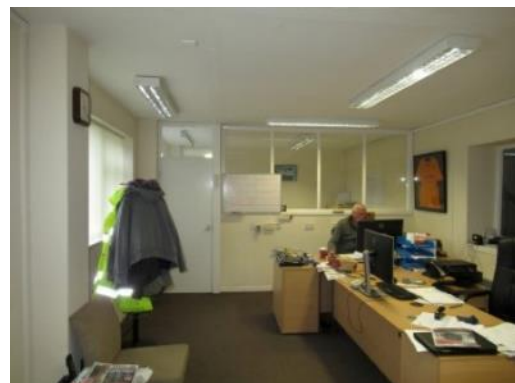
First Floor

Landing



The landing area comprises of painted plastered ceiling with painted plastered walls, gloss painted internal joinery and internal door, a carpet tile floor covering over suspended timber floor. The landing area generally appears to be in satisfactory condition with no significant defects noted however the floor covering would benefit from replacement. Where hairline to very slight cracking is present to the surface of the ceiling this does not appear to be significant however would benefit from repair prior to redecoration.

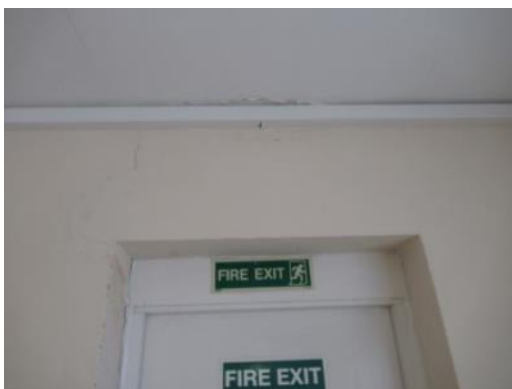
Offices





The office areas comprise of painted plastered ceilings with painted plastered walls, gloss painted internal joinery and internal doors and carpet tile floor coverings over suspended timber floors. The office areas generally appear to be in a satisfactory condition with no significant defects noted however are in need of redecoration and replacement of the floor covering.

Where areas of slight cracking are present to the ceiling they do not appear to be significant however require repair prior to redecoration. Where cracking is present to the plaster finishes to the front of the office area we consider that this is linked to the previously noted structural movement to the front elevation and we refer you to our previous comments regarding this. Following the aforementioned repairs externally we recommend that internal plaster finishes where cracked are repaired prior to redecoration.



There is evidence of moisture ingress present to the head of the fire escape door to the right hand side of the offices which leads onto the external fire escape staircase. Following repairs

to the roof and external brickwork we recommend that the plaster finishes are repaired and replaced where affected and redecorated.

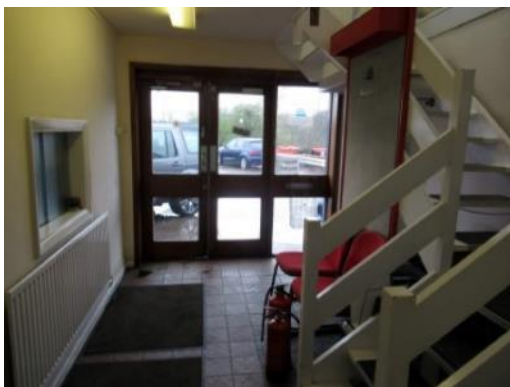
Staircase



A timber staircase is provided giving access from the ground floor to the first floor areas of the property. The staircase generally appears to be in satisfactory condition with no significant defects noted.

Ground Floor

Entrance Lobby



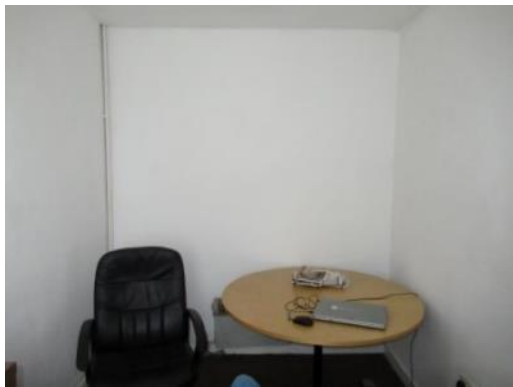
The entrance lobby comprises of a painted plastered ceiling with painted plastered walls, gloss painted internal joinery and internal doors and a ceramic tile floor covering over a solid concrete floor. The entrance lobby generally appears to be in satisfactory condition with no

significant defects noted however would benefit from redecoration. Where damaged tiles are present to the floor these would benefit from replacement with deteriorated grouted joints also regouted.

The floor is noted to slope slightly towards the right hand side however this does not appear to be significant and would benefit from levelling.

High levels of moisture and slight deterioration of the decorative and plaster finishes are evident at low level to walls within the entrance hallway suggesting there may be a potential issue with penetrating dampness within the property. As such we recommend that a specialist damp survey is undertaken of the property to further advise on this matter.

Offices





The ground floor office areas and associated corridor comprise of painted plaster ceilings with painted plastered walls, gloss painted internal joinery and internal doors and a combination of carpet tile and vinyl tile floor coverings. The office areas generally appear to be in satisfactory condition with no significant defects noted however are in need of general refurbishment, redecoration and replacement of the floor covering.

Where areas of very slight cracking are present to the ceilings they do not appear to be significant however require repair prior to redecoration. Where cracking is present to the front wall of the office area we consider that this is linked to the previously noted structural movement to the front elevation and refer you to our previous comments regarding this. Following completion of repairs externally we recommend that plaster finishes internally are repaired prior to redecoration.



An area of deteriorated plaster finishes and high levels of moisture are evident to the rear left hand corner of the left hand office. A WC is present to the rear of the office and we note high levels of moisture at low level to the walls within this area also and decay present

to the skirting. The aforementioned suggests there is a potential issue with penetrating dampness through the property and we refer you to our previous comments regarding this.

WC Facilities



The Male and Female WC facilities comprise of painted plastered ceilings with painted plaster and ceramic tiled walls, gloss painted internal joinery and internal doors and ceramic tile floor coverings over a solid concrete floor. Vitreous china WCs and wash hand basin are provided to the area. The WC areas generally appear to be in satisfactory condition with no significant defects noted however would benefit from redecoration in the short term.

Warehouse Area





The warehouse area comprises of lining boards present to the underside of the roof forming the ceiling with a combination of brickwork and lining boards to the internal face of the external elevation, cladding to the walls and a painted concrete floor.



The lining boards to the ceiling generally appear to be in satisfactory condition with no evidence of water ingress however a number of isolated, damaged and displaced lining boards are present and these would benefit from replacement.

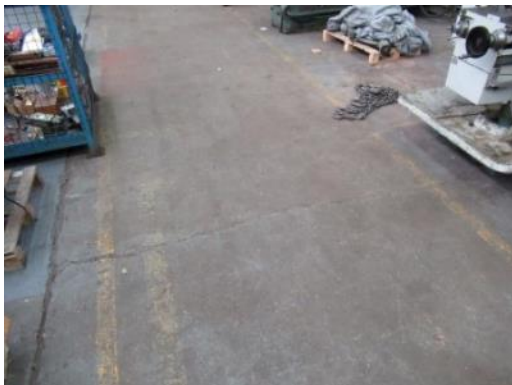


The lining boards present to the perimeter walls generally appear to be in satisfactory condition however numerous damaged lining boards are present particularly to the internal face of the rear elevation. Although this does not appear to be causing any significant problems at present the damaged lining boards would benefit from replacement.





The brickwork present to the walls generally appears to be in satisfactory condition with no significant defects noted.



The concrete floor to the warehouse area generally appears to be in satisfactory condition with no significant defects noted however the painted finishes are generally deteriorated throughout and are in need of redecoration.

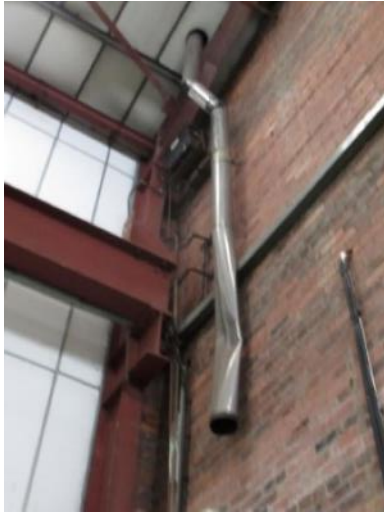
Where areas of cracking are present to the floor they do not appear to be significant however would benefit from repair as part of the redecoration works.



The steel portal frame structure where visible generally appears to be in satisfactory condition with no significant distortion noted.



Two gas fired warm air heaters are present to the right hand side of the warehouse area however these appear to be redundant.



Where a redundant flue is present to the front right hand corner of the warehouse this would benefit from removal with the ceiling and roof where the flue penetrates suitably capped and repaired.



A loading bay area is present to the rear of the warehouse at a lower level than the main warehouse floor. The loading bay generally appears to be in satisfactory condition however where brickwork is damaged to its perimeter it would benefit from repair.



A two storey brickwork block is present to the front left hand corner of the warehouse and houses a small office at first floor level with kitchenette and WC at ground floor level.

Internal areas of the block comprise of painted plastered ceilings with painted plastered walls incorporating ceramic tiling to the kitchen and WC area, gloss painted internal joinery and external doors and a combination of painted concrete and vinyl tile floor covering. The areas generally appear to be in satisfactory condition however would benefit from refurbishment in the short term.

The mechanical extractor fan to the WC area has been removed and requires replacement. The entrance door to the WC area is also damaged and requires replacement.

Where damage is present to the plastic sealant within the kitchen this does not appear to be significant however requires repair.

Store Room



A store area is present to the rear left hand side of the warehouse which is located within the single storey brick extension constructed between the left hand elevation of Unit 4 and the right hand elevation of Unit 3. The store room area comprises of painted plastered ceilings with painted plastered walls, gloss painted internal door and internal doors and a painted concrete floor. The store room area generally appears to be in satisfactory condition with no significant defects noted. However the area would benefit from redecoration including decoration of the floor in the short term.

4 Deleterious and Problematic Materials

In Appendix 2, we provide background information relating to the nature of materials and components that are regarded by the UK property and construction industry as “deleterious” or, in some way, problematic. We had regard to the presence of these materials and components during our inspection

It is suspected that the following deleterious and problematic materials/components are present at the property:

1. Asbestos – A copy of the Asbestos Register and Asbestos Management Plan for the property should be obtained.

5 Compliance with Legislation

Consideration has been given to certain issues concerning compliance with legislation. The specific issues considered are:

- Building Regulations,
- Planning and listed building legislation,
- Conservation area status,
- Workplace safety legislation associated with artificial lighting, glazing, falling, toilet provision and asbestos.
- Fire precautions and means of escape
- Disability discrimination legislation

We have not undertaken a detailed review of the standard of compliance of the building with current legislation, nor have we undertaken specific risk assessments. However, the following matters would benefit from further investigation and possible action:

1. The second floor fire escape to unit 4 requires reinstatement with the fire escape stair repaired and redecorated.
2. A copy of the Asbestos Register and Asbestos Management Plan for the property should be obtained.
3. You should obtain up to date service certificates for the gas boilers and electrical installation.
4. You should obtain copies of the fire risk assessments for the property.

6 Environmental Hazards

Consideration has been given to certain environmental hazards in the form of:

- flooding
- tree root proximity
- radon
- electromagnetic fields and microwave exposure
- vermin (rodents, birds, insects)
- Invasive vegetation (Japanese Knotweed/Giant Hogweed)

Based upon visual inspection and information obtained from relevant web sites, we do not believe that the property is significantly exposed to any of these hazards.

Land contamination issues are the subject of separate specialist reports and consideration of this issue is outside the scope of this report. If land contamination issues are important to you consideration should be given to the commissioning of an environmental audit.

7 Minimum Energy Efficient Standards (MEES)

The Energy Efficiency (Private Rented Sector) (England and Wales) Regulations 2015 will make it unlawful from April 2018 to let residential or commercial properties with an Energy Performance Certificate (EPC) rating of 'F' or 'G'. The marketability of some properties will as a result become impossible unless they are upgraded to meet the minimum standards. This necessary upgrade work may have a substantial financial implication.

From 1st April 2018 the regulations will be enforced upon the granting of a new lease and the renewal of existing leases. Landlords will be required to ensure compliance before the lease is granted. From April 2023 this requirement will cover all leases including where a lease is already in place.

You should carefully consider whether the implication of the MEES will affect the purchase of the property or your intention for the property in the future.

8 Conclusion

The property generally appears to be in satisfactory condition subject to normal weathering and wear and tear consistent with the age and location with no evidence of significant structural defects noted. However various items and repairs requiring attention have been highlighted including the following:

- We have recommend that enquiries are made with your solicitor in order to confirm the exact location, maintenance responsibility and liability for all boundaries to the property.
- We recommend enquiries are made with your solicitors to obtain the electrical test certification for the property. If this is not available we recommend electrical installations throughout the property are tested and inspected by a suitably qualified NICEIC approved Electrical Engineer.
- We recommend enquiries are made with your solicitors to obtain the current gas test certification for the property. If this is not available we recommend gas installations throughout the property are tested and inspected by a suitably qualified Gas Safe Registered Engineer.

Unit 3

- Treatment of cut edge corrosion to roof sheets with a suitable proprietary repair system, replacement of the ridge flashings and clear gutters and reseal defective joints to gutters and downpipes in the immediate term. We would set aside a figure of £20,000.
- Replacement of rooflights in the short to medium term. We would set aside a figure of £24,000.
- Relining of the gutter areas in the short term. We would set aside a figure of £9,000
- Repointing of brickwork. We would set aside a figure of £750
- Repairs and redecorate cladding in short term including replacement of isolated damaged sheets, replacement of metal drip flashing where necessary and replacement of external door surrounds. We would set aside a figure of £30,000.
- Repairs, repointing and redecoration of internal brickwork. We would set aside a figure of £3,000
- Repairs and redecoration of warehouse floor. We would set aside a figure of £16,000

Unit 4

- Re-cover the flat roof to the front of Unit 4 in the immediate term. We would set aside a figure of £7,000 excluding VAT for these works.
- Replacement of rooflights in the short term. We would set aside a figure of £15,000 excluding VAT for these works.
- Repairs and maintenance to the rainwater goods in the immediate term including clearing of gutters removal of vegetation growth, resealing of defective joints and relining. We would set aside a figure of £6,000 excluding VAT for these works.
- Repairs and repointing to brickwork including the installation of expansion joints. We would set aside a figure of £1,500 excluding VAT for these works.
- Carry out CCTV survey of below ground drainage. We would set aside a figure of £250 excluding VAT for these works.
- Further investigation works to confirm that suitable lintels are present above window openings. If necessary new lintels may require installation. We would set aside a figure of £2,000 excluding VAT for these works.
- Replacement of timber framed windows in immediate term. We would set aside a figure of £2,500 excluding VAT for these works.
- Repairs to damaged sections of cladding in the short term. We would set aside a figure of £1,500 excluding VAT for these works.
- Repair and redecoration of external fire escape staircase in immediate term. We would set aside a figure of £2,000 excluding VAT for these works.
- Repairs and redecoration to second floor ceiling. We would set aside a figure of £1,800 excluding VAT for these works.
- Repairs and redecoration of warehouse floor. We would set aside a figure of £8,000
- We recommend that the fire escape to the second floor is reinstated in the immediate term.
- We recommend that a specialist damp survey is undertaken of the office areas.

END OF REPORT

A handwritten signature in blue ink, appearing to read 'D. Thomas', is centered on the page.

David Thomas BSc (Hons) MRICS

For and on behalf of **Allcott Associates LLP**

Appendix 1

LIMITATIONS APPLICABLE TO PRE-ACQUISITION INSPECTIONS AND REPORTS

General Limitations

Inspection & Concealed Parts: Our report will cover all parts of the site made available to us during our visual inspection of the property, which is normally and safely accessible without the use of ladders, unless stated within the report. Where inspection of roof areas by use of access hoists is required this will be agreed with you prior to inspection. The structure and fabric will not be opened up for further investigation.

Those parts of the building and engineering services that are concealed, inaccessible or covered will not be inspected and confirmation that such parts are free from defects cannot be provided. Where we feel further investigation is merited, reference will be made in our report.

Our services survey is based on a visual inspection and comment on the condition and the quality of the installation relating to normal good standards. Internal inspection of plant will only be carried out where access is readily available and not where plant strip-down is required. We will specifically exclude tests relating to the performance of any heating, air conditioning or ventilation systems, pipe pressure tests, electrical or drainage tests. The omission of such tests might give rise to the fact that certain problems could exist which are not reflected in our report. No Inspection or comment is made on the below ground drainage installations unless Instructed otherwise.

Occupied Buildings: Where buildings are occupied at the time of our inspection access to some areas may be restricted or denied although these areas will be noted in our report. Regardless of occupation, we will not lift fitted carpets, nor disturb any part of the fabric or fittings which are fixed or would cause damage.

Budget Costs: Where approximate budget costs are included in our report, these costs are for guidance purposes only and will not be calculated from measured quantities but will be based on knowledge and experience of similar repair or replacement situations. Costs are exclusive

of contractor's preliminaries, contingencies, builders work associated with services, professional fees and VAT. They will be based on current prices and no allowance will be made for inflation. Access costs for high level works will be included.

Liability and Confidentiality: Our report will be for the attention and purposes of the instructing party only and consequently we cannot accept any third party liability for the whole or any part thereof. Neither may the whole nor any part of our report, nor any reference thereto, be published in any way nor included in any published document, circular or statement without our prior written approval of the form and context in which it may appear.

Pre Acquisition Survey

Compliance with Legislation: Our inspection will involve a general review of the state of compliance with Statutory Requirements such as the Building Regulations, Workplace Regulations, Fire Regulations, Disability Discrimination Act and other relevant matters. Please note that compliance with these Regulations often requires a more detailed study and/or the preparation of a detailed risk assessment. Such studies and risk assessments are beyond the scope of our report. It should be noted that the requirements under the Disability Discrimination Act are based on reasonableness, the meaning of 'reasonable adjustment' has yet to be determined by the Courts and our advice represents our Interpretation of the Act at this time.

Building Services

Design Analysis: No definitive calculations will be undertaken to determine the capacity of the plant, nor will performance tests be carried out on any of the systems or plant items. Design analysis of the systems will be undertaken using generally accepted design criteria.

White Goods & Data: Our report will not include an inspection of the white goods, catering and vending equipment telecommunication or data systems found within the property. We are unable to comment, advise or identify items that are reliant on day/date dependent embedded chips.

Deleterious & Hazardous Materials Generally: Our report and survey excludes any investigation into the unsuitable use of deleterious or hazardous materials except insofar as such matters may come to our knowledge in the normal course of inspecting the property and state of repair. We will advise you if we consider there is a significant possibility that deleterious or hazardous materials exist at the property, although we will not undertake or

commission specific inspections, laboratory testing or reports unless this possibility has been identified by us as a concern and further instructions received. Similarly, where composite cladding panels maybe noted in our report we confirm that no intrusive testing will be undertaken to determine the type of insulant or whether this is approved by the Loss Prevention Certification Board unless instructed otherwise.

Asbestos: No testing or analysis of asbestos containing materials will be carried out.

Concrete: We are not able to confirm that the structure is free from structural defects to include but not exclusively the deleterious effect of HAC, chlorides and reinforcement corrosion durability.

Concealed Parts

If we observe evidence to suggest that concealed parts of the structure and fabric might be defective, we will advise you accordingly and make recommendations for further investigations. However, unless otherwise instructed by you, we will not open-up for inspection any permanently enclosed or concealed parts of the structure and fabric.

Services Installations

Our report on the services installations will be based on a cursory inspection only in order to include a general description. We will not test any of the installations. Unless otherwise instructed, we will not commission the inspection and testing of any installations by specialist consulting engineers. If we find visual evidence to suggest that there might be significant problems with any of the installations, or if they are particularly sophisticated or complex, we will advise you accordingly, and make recommendations for further investigation and/or testing by specialist

Appendix 2

Deleterious materials

Since the early 1980s the property and construction industry has evolved and adopted a list of materials, which, for one reason or another, have been labelled deleterious and/or hazardous to health and safety. Some of these materials only become deleterious and hazardous due to the particular circumstances of their use and are not inherently deleterious or hazardous in themselves.

Materials that have been branded “deleterious” have usually been so classed because they either:

- (a) pose a direct risk to the health and safety of persons occupying or visiting a particular property (e.g., asbestos) or
- (b) can be detrimental to the structural performance of a building (eg High Alumina Cement in concrete) or
- (c) are generally perceived by the property investment market as undesirable features of a building, which can affect the liquidity of the property concerned (eg calcium silicate bricks) or, in the case of composite panels, its insurability.

Some deleterious materials might fall into more than one of the forgoing three categories above.

Few of the deleterious materials given below can be detected with the naked eye alone. Often sampling and testing of a component or element is required to confirm the presence, or absence of a material. The materials marked with an asterisk below are, in general, those materials that require sampling and testing to establish their existence with certainty.

At present, the list of deleterious and problematic materials comprises the following:

- Composite cladding panels to roofs and walls.

- Nickel sulphide inclusions in toughened glazing
- High Alumina Cement (HAC) when used in load-bearing concrete components and elements.*
- Chloride additives when used in pre-cast or in situ cast concrete.*
- Calcium silicate bricks or tiles (also known as sand/lime or flint/lime bricks).
- Mundic blocks and Mundic concrete.
- Woodwool slabs when used as permanent shuttering to in situ cast structural concrete.
- Lead-based paint used in locations that could result in the ingestion, inhalation or absorption of the material.*
- Lead used for drinking water pipework except when used as solder to pipe fittings.
- Sea dredged aggregates or other aggregates for use in reinforced concrete which do not comply with British Standard 882: 1992 and aggregates for use in concrete which do not comply with the provisions of British Standard Specification 8110: 1985.*
- Asbestos in any raw form or asbestos-based products.*
- Manmade mineral fibres in materials when these fibres are loose and have a diameter of 3 microns or less and a length of between 5 and 100 microns.*
- Urea Formaldehyde Foam in large quantities used, in particular, as cavity insulation (due to vapours released from the foam).

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